

Table #1. Tree number (No.), species, diameter at breast height (DBH), comments, Condition Rating (CR) and Tree Category.

No.	Tree Species	DBH (cm)	Location	CR (%)	TC	Recommendation
#1	Norway maple	33	Neighbour	65	2	To be Preserved;
#2	Norway maple	17	Neighbour	60	2	To be Preserved;
#3	red elm	52	Neighbour	65	2	To be Preserved;
#5	basswood	29.5	Neighbour	70	2	To be Removed; Neighbour Request
#6	Norway maple	16	Onsite	70	1	To be Removed
#7	buckthorn	8-12	Onsite	60	1	To be Removed
#8	Norway maple	36	Onsite	65	1	Remove: Conflict with Proposed Development
#9	Norway maple	42	Onsite	65	1	Remove: Conflict with Proposed Development
#10	green ash	18	Onsite, dead	0	1	To be Removed
#11	white mulberry	26-31	Onsite	70	1	Remove: Conflict with Proposed Development
#12	cherry tree	12-15	Onsite	50	1	To be Removed
#13	red oak	46	Onsite	70	1	Remove: Conflict with Proposed Development
#14	green ash	16	Onsite, dead	0	1	To be Removed
#15	Norway maple	15	Onsite	70	1	To be Removed
#16	basswood	35-56	Onsite	60	1	Remove: Conflict with Proposed Development
#17	Norway maple	16	Onsite	50	1	To be Removed
#18	Norway maple	38	Onsite	65	1	Remove: Conflict with Proposed Development
#19	black locust	35	Onsite	70	1	Remove: Conflict with Proposed Development
#20	black locust	58	Onsite	60	1	Remove: Conflict with Proposed Development
#21	black locust	30	Onsite	60	1	Remove: Conflict with Proposed Development
#22	Siberian elm	32	Onsite	65	1	Remove: Conflict with Proposed Development

#23	Chinese elm	14	Onsite	55	1	To be Removed
#24	Chinese elm	12	Onsite	60	1	To be Removed
#25	black locust	62	Onsite	55	1	Remove: Conflict with Proposed Development
#26	black locust	58	Onsite	60	1	Remove: Conflict with Proposed Development
#28	black locust	15-16	Onsite	70	1	To be Removed
#29	basswood	10-14	Onsite	70	1	To be Removed
#30	silver maple	71	Onsite	60	1	Remove: Conflict with Proposed Development
#31	black locust	42	Onsite	55	1	Remove: Conflict with Proposed Development
#32	basswood	58-61	Onsite	55	1	Remove: Conflict with Proposed Development
#33	black locust	39	Onsite	60	1	Remove: Conflict with Proposed Development
#34	Norway maple	15	Onsite	70	1	To be Removed
#35	white mulberry	12	Onsite	70	1	To be Removed
#36	linden tree	22-46	Onsite	65	1	Remove: Conflict with Proposed Development
#37	Siberian elm	10-14	Onsite	65	1	To be Removed
#38	Manitoba maple	10-16	Onsite	60	1	To be Removed
#39	Norway maple	29	Onsite	65	1	To be Removed
#40	Siberian elm	17	Onsite	70	1	To be Preserved
#41	Siberian elm	29	Border	0	1-2	To Remain; Dead
#42	Norway maple	18	Neighbour - roadside	70	5-2	To be Preserved
#43	Norway maple	52	Neighbour	65	2	To be Preserved

Tree Protection Plan Notes

- It is the applicants' responsibility to discuss potential impacts to trees located near or wholly on adjacent properties or on shared boundary lines with their neighbours. Should such trees be injured to the point of instability or death the applicant may be held liable through civil action. The applicant would also be required to replace such trees to the satisfaction of Urban Forestry
- Tree protection barriers must be installed to standards as detailed in this document and to the satisfaction of Urban Forestry
- Tree protection barriers must be installed using plywood clad hoarding (minimum 19mm or ¾" thick) or an equivalent approved by Urban Forestry
- Where required, signs as specified in Section 4, Tree Protection Signs must be attached to all sides of the barrier
- Prior to the commencement of any site activity such as site alteration, demolition or construction, the tree protection measures specified on this plan must be installed to the satisfaction of Urban Forestry
- Once all tree/site protection measures have been installed, Urban Forestry staff must be contacted to arrange for an inspection of the site and approval of the tree/site protection requirements
- Photographs that clearly show the installed tree/site protection must be provided for Urban Forestry review
- Where changes to the location of the approved TPZ or sediment control or where temporary access to the TPZ is proposed, Urban Forestry must be contacted to obtain approval prior to alteration
- Tree protection barriers must be installed in place and in good condition during construction, construction must not occur within the TPZ, landscaping, and must not be altered, moved or removed until authorized by Urban Forestry
- No construction activities including grade changes, surface treatments or excavation of any kind are permitted within the area identified on the Tree Protection Plan or Site Plan as a minimum tree protection zone (TPZ). No root cutting is permitted. No storage of materials or fill is permitted within the TPZ. No movement or use of vehicles or equipment is permitted within the TPZ. The area(s) identified as a TPZ must be protected and remain undisturbed at all times
- All additional tree protection or preservation requirements, above and beyond the

- Installation of tree protection barriers, must be undertaken or implemented as detailed in the Urban Forestry approved arborist report and/or the approved tree protection plan and to the satisfaction of Urban Forestry
- If the minimum tree protection zone (TPZ) must be reduced to facilitate construction access, the tree protection barriers must be installed at a lesser distance and the exposed portion of TPZ must be protected using a horizontal root protection method approved by Urban Forestry
- Any roots or branches indicated on this plan which require pruning, as approved by Urban Forestry, must be pruned by an arborist. All pruning of tree roots and branches must be in accordance with good arboricultural practice. Roots that have received approval from Urban Forestry to be pruned must first be exposed using pneumatic (air) excavation, by hand digging or by a using low pressure hydraulic (water) excavation. The water pressure for hydraulic excavation must be low enough that root bark is not damaged or removed. This will allow a proper pruning cut and minimize tearing of the roots. The arborist retained to carry out crown or root pruning must contact Urban Forestry no less than three working days prior to conducting any specified work
- The applicant/owner shall protect all by-law regulated trees in the area of consideration that have not been approved for removal throughout development works to the satisfaction of Urban Forestry
- Convictions of offences respecting the regulations in the Street Tree By-law and Private Tree By-law are subject to fines. A person convicted of an offence under these by-laws is liable to a minimum fine of \$500 and a maximum fine of \$100,000 per tree, and/or a Special Fine of \$100,000. The landowner may be ordered by the City to stop the contravening activity or ordered to undertake work to correct the contravention
- If there is disturbance the owner must confirm that no migratory birds are making use of the site for nesting. The owner must ensure that the works are in conformance with the Migratory Bird Convention Act and that no migratory bird nests will be impacted by the proposed work



Key Map

Existing Deciduous Tree Canopy

Tree Protection
Zone (TPZ)

Property Line

Tree Protection Fencing

Detail
Reference Key

REFER TO PLAN FOR LOCATION

MSL **TRE PROTECTION**

THREE PROTECTION ZONE (TYPE 2)

NO GRASSY PLANTING MATERIALS OF WITHIN 10' OF PROTECTION ZONE. PLANTING MATERIALS TO BE PLANTED WITHIN PROTECTION ZONE. PLANTING MATERIALS TO BE PLANTED WITHIN PROTECTION ZONE.

THE PROTECTION ZONE SHALL BE MAINTAINED AT ALL TIMES.

FOR INFORMATION, ALL PLANTING MATERIALS TO BE PLANTED WITHIN PROTECTION ZONE SHALL BE MAINTAINED AT ALL TIMES.

TREE PROTECTION SIGNAGE (SEC. 4)

A SIGN THAT IS SIMILAR TO THE ILLUSTRATION ABOVE MUST BE MAINTAINED AT ALL TIMES. THE SIGN SHALL BE MAINTAINED AT ALL TIMES. THE SIGN SHALL BE MAINTAINED AT ALL TIMES. THE SIGN SHALL BE MAINTAINED AT ALL TIMES.

WHERE PLYWOOD ONLY IS USED, THE SIGN SHALL BE COINCIDENT WITH PLASTIC MIB

SEE SECTION FOR DETAILS

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SEE SECTION FOR DETAILS

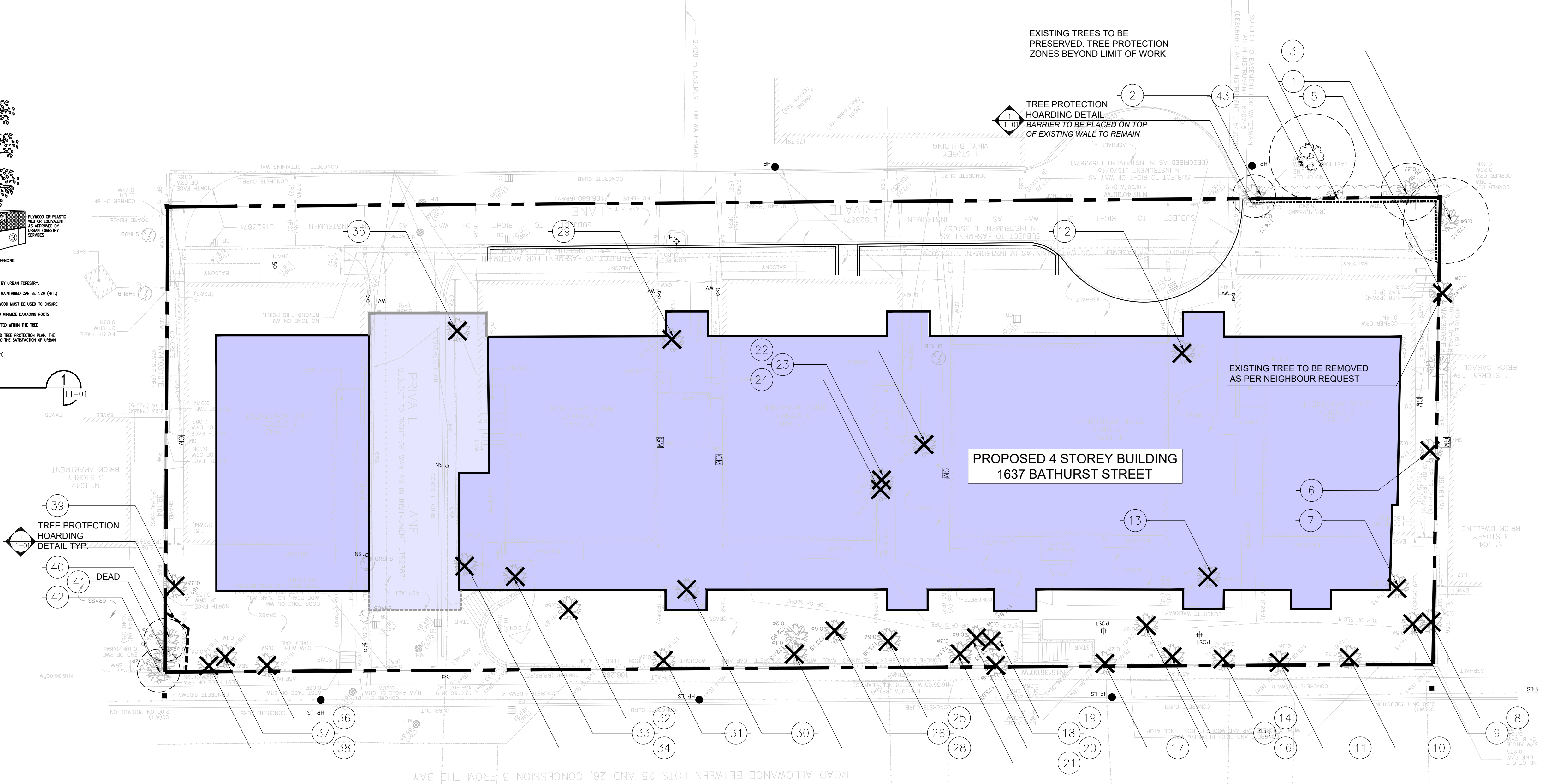
TREE PROTECTION BARRIERS

- 1) TREE PROTECTION BARRIERS MAY BE A PLYWOOD OR PLASTIC MIB HOARDING OR EQUIVALENT AS APPROVED BY URBAN
- 2) TREE PROTECTION BARRIERS FOR TREES SITUATED ON A CITY ROAD ALLOWANCE WHERE VISIBILITY MUST BE MAINTAINED
- 3) WHERE SIGN EXISTANT ON THE ROAD TO BE PROTECTED ON A ROAD FRAME MADE OF 2" X 4'S
- 4) WHERE SIGN EXISTANT ON THE ROAD TO BE PROTECTED ON A ROAD FRAME MADE OF 2" X 4'S
- 5) NO MATERIALS EXISTANT IN THE PROTECTION ZONE
- 6) ALL SUPPORTS AND BRACINGS SHOULD BE OUTSIDE THE TREE PROTECTION ZONE. ALL SUCH SUPPORTS SHOULD MAINTAIN
- 7) NO CONDUCTIVE MATERIALS, CHAIN, GROUND, STRIKE TREATMENT OR EXCAVATIONS AT AND OF PERMITTED WITHIN
- 8) SEPARATE CANTON FENCING SHALL BE INSTALLED IN LOCATIONS INDICATED BY AN URBAN UTILITY APPROVED THE PRO
- 9) SEPARATE CANTON FENCING SHALL BE INSTALLED TO DIVERTED PLYWOOD SIGNAGE (SDPS-25/35) AND TO THE SAME

CITY OF TORONTO - URBAN FORESTRY SERVICES, PLANS AND REGULATION DESIGN (DETAL 9-1)

TREE PROTECTION BARRIERS DETAIL TYP.

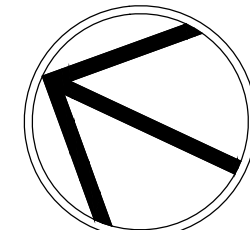
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01	Issued for Meeting	23/04/19
No.	Revision	Date

North:

Stamp:



Project: SPA No. 19 263095 STE 12

**Proposed Residential
Development**
1637-1645 Bathurst
Toronto, Ontario

Scale: 1:200 Date: April 2019

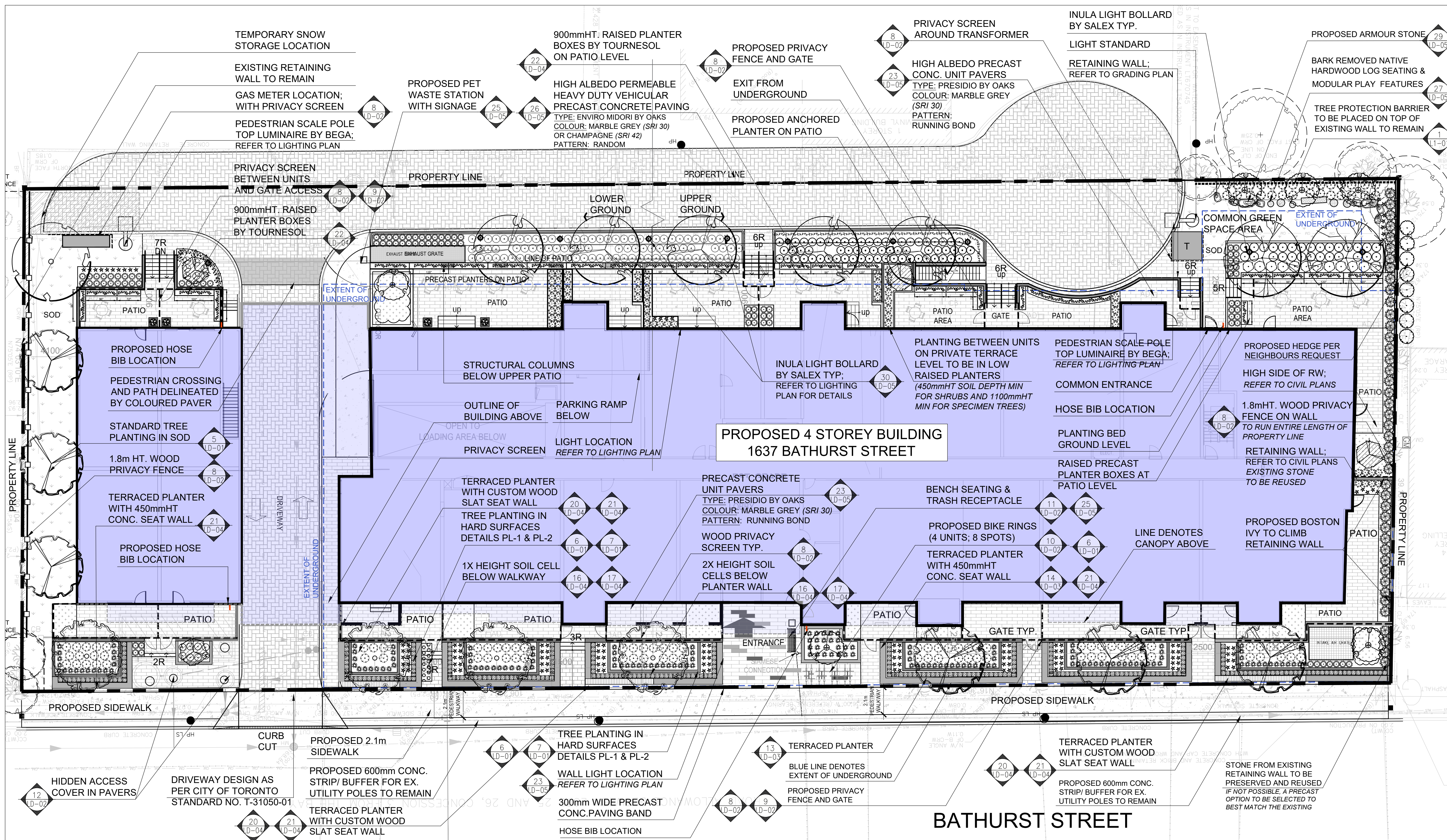
Drawn By: **S.L.** Checked By: **L.M.**

Drawing Title

Tree Removal & Preservation Plan

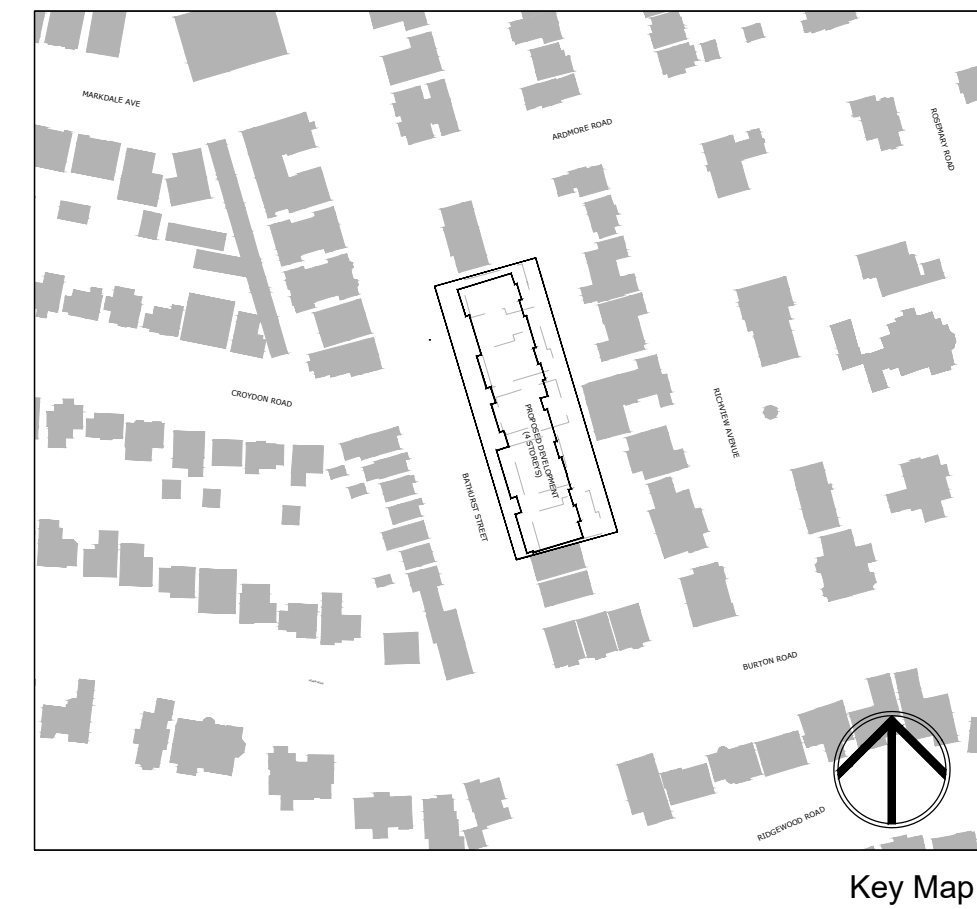
Project No. **17163** Sheet No. **L1-01**

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All drainage patterns must drain positively away from buildings or structures at 2% min. The position of existing above and underground utilities and facilities are not necessarily shown on the drawings, and where shown, the accuracy of the position of utilities or facilities is not guaranteed. Before starting work, the contractor shall confirm the exact location of all existing utilities and facilities, and shall assume liability for damages.
NO ABOVE AND UNDERGROUND UTILITIES OR FACILITIES MUST BE CONFIRMED BY CONTRACTOR PRIOR TO CONSTRUCTION.
ANY AND ALL RETAINING WALLS MUST BE APPROVED BY STRUCTURAL ENGINEER TO CONSTRUCTION.
PROPERTY LINE(S) AND SETBACKS MUST BE CONFIRMED BY CONTRACTOR PRIOR TO CONSTRUCTION.
NO OPEN AREAS ARE TO EXISTE 31' PROPERTY LINE(S) AND SETBACKS MUST BE CONFIRMED BY CONTRACTOR PRIOR TO CONSTRUCTION.
NO GRADING INFORMATION REFERS TO GRADE INFORMATION FOR THE PROJECT.



KEY	QNTY	BOTANICAL NAME	COMMON NAME	HT/CAL	SPREAD	ROOT	REMARKS
DECIDUOUS TREES							
ASA	1	Acer saccharinum	Silver Maple	70 mm		B.&B.	Full Form
AKF	5	Acer x freemanii	Freeman Maple	70 mm		B.&B.	Full Form
FSD	8	Fagus sylvatica 'Dawley Green'	Dawley Green Beech	70 mm		B.&B.	Full Form
GKP	6	Ginkgo biloba 'Princeton Sentry'	Princeton Sentry Maidenhair Tree	70 mm		B.&B.	Full Form
GSS	4	Gleditsia triacanthos var. inermis 'Draves'	Street Keeper Honey-Locust	70 mm		B.&B.	Full Form
GRB	2	Quercus rubra	Red Oak	70 mm		B.&B.	Full Form
DECIDUOUS SHRUBS							
BBC	8	Buddleia 'Lo & Behold Blue Chip'	Dwarf Butterfly Bush	50 cm		C.G.	Full Form
BXG	263	Buxus 'Green Mound'	Green Mound Boxwood	30 cm		C.G.	Full Form
CNF	12	Cornus sericea 'Farrow'	Artic Fire Dogwood	60 cm		C.G.	Full Form
EF5	93	Euonymus fortunei 'Sarcosia'	Sarcosia Euonymus		60 cm	C.G.	Full Form
PFA	83	Potentilla fruticosa 'Abbottswood'	Abbottswood White Potentilla	60 cm		C.G.	Full Form
RHG	48	Rhus aromatica 'Gra-Low'	'Gra-Low' Fragrant Sumac	60 cm		C.G.	Full Form
SAB	114	Symphoricarpos albus	Snowberry	80 cm		C.G.	Full Form

Legend

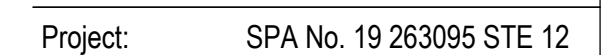


Client/Owner:

Starlight Investments Ltd.
1801 - 3300 Bloor St West, West Tower,
Toronto, ON M8X 2X2

Notes:

North:	Stamp:
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Scale: **1:150** Date: **April 2019**

Drawn By: **S.L.** Checked By: **L.M.**

Drawing Title:

Project No. **17163** Sheet No. **L2-02**

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Soil Area	Soil Area {m ² }	Soil Depth {m}*	Soil Volume {m ³ }	Tree Quantity	Soil Volume per Canopy tree {m ³ }	Irrigation provided (Yes/No)
1	140	1.5	210	1 <i>(+3 Columnar)</i>	210	Yes
2	20	1.5	30	1	30	Yes
3	20	1.5	30	1	30	Yes
4	22	1.5	33	1	33	Yes
5	29	1.5	43.5	1	43.5	Yes
6	26	1.5	39	1	39	Yes
7	27	1.5	40.5	1	40.5	Yes
8	40	1.5	60	1 <i>(+1 Specimen)</i>	58.5	Yes
9	62	1.2	74.4	3	25	Yes
10	42	1.2	50.4	2	25	Yes
11	99	1.5	148.5	2 <i>(+2 Specimen)</i>	73.5	Yes
Totals	387		759.3	15		

Tree Planting Requirement:
Min. 15 Canopy Trees

- The Contractor shall be fully responsible to ensure that adequate water is provided to all plants from the point of installation until the date of acceptance. The contractor shall adjust the automatic irrigation system, if available, and shall apply additional water, using hoses as required
- During the initial establishment period, and particularly immediately after installation do not rely on the irrigation system to water the plants. Plants will uptake water only within the root ball and a short distance outside the ball. It is possible to over water the soil while under watering the root ball with the irrigation system.
- Hand water root balls of all plants and the soil immediately around the root ball to assure that the root balls have adequate moisture. Test the moisture content in each root ball to determine the water content. Maintain root ball moisture and soil beyond the root ball moisture between 10 and 20% as measured using a General Digital Moisture Meter. Do not over water the soil around the plants. Use "Tree Gator Bags" to assist in watering trees.

All trees must be planted as per the plans, approved by Urban Forestry and must arrive on site in Balled and Burlaped condition, with a minimum caliper of 70mm (or as specified if larger). Each tree shall have the burlap and wire cage opened and soil brushed away until the first proper root is found indicating the top of the real root ball, the tree is then to be planted with this level to be considered the top of root-ball for all other instructions. Any tree found planted with the first proper root more than 2.5cm below planting level will be rejected and require replacement or replanting at the City's discretion

1

Soil Area
Available for Tree



Key Map

 **msla**

MARTON SMITH LANDSCAPE ARCHITECTS

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Toronto, Ontario, Canada. M3C 2G3
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Client/Owner:



Starlight
Investments

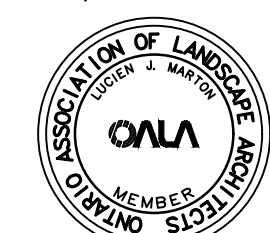
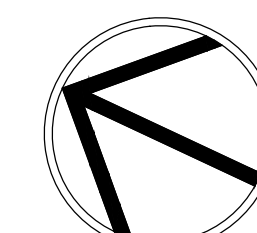
Starlight Investments Ltd.
1801 - 3300 Bloor St West, West Tower,
Toronto, ON M8X 2X2


Toronto

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North: Stamp:



Project: SPA No. 19 263095 STE 12

Proposed Residential Development
1637-1645 Bathurst
Toronto, Ontario

Scale: **1:150** Date: **April 2019**

Drawn By: **S.L.** Checked By: **L.M.**

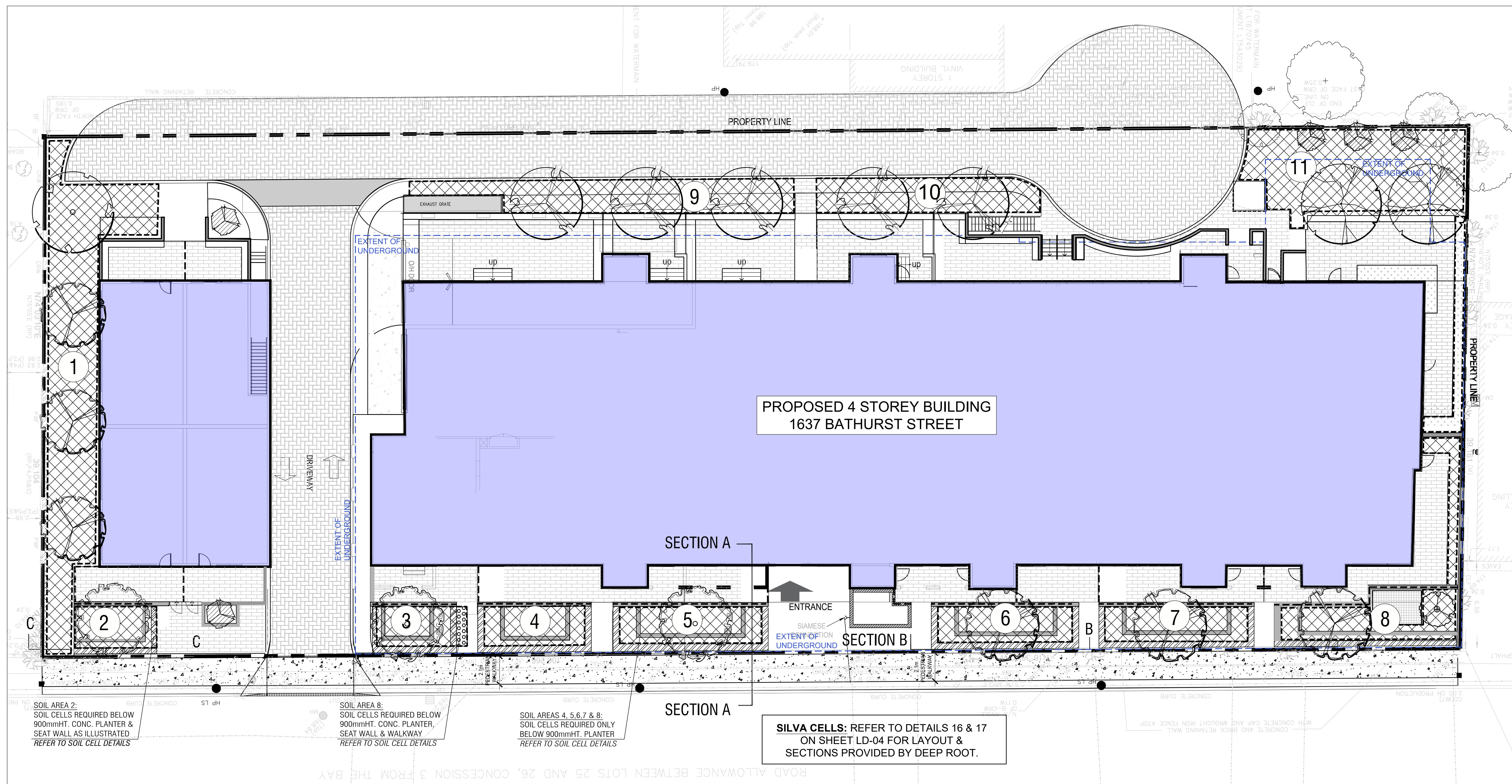
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Soil Volume Plan

Project No.
Sheet No.

17163 L2-03

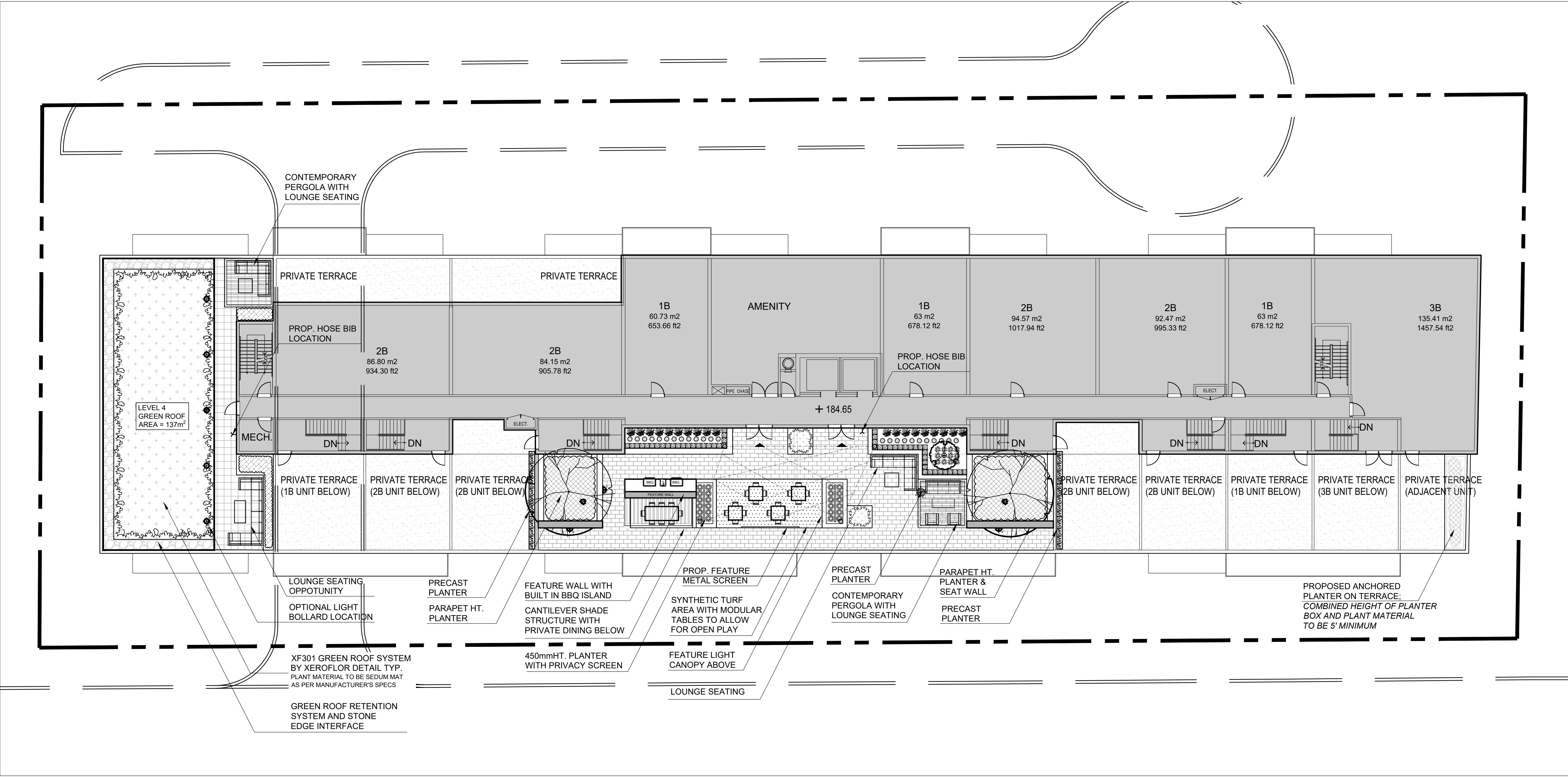
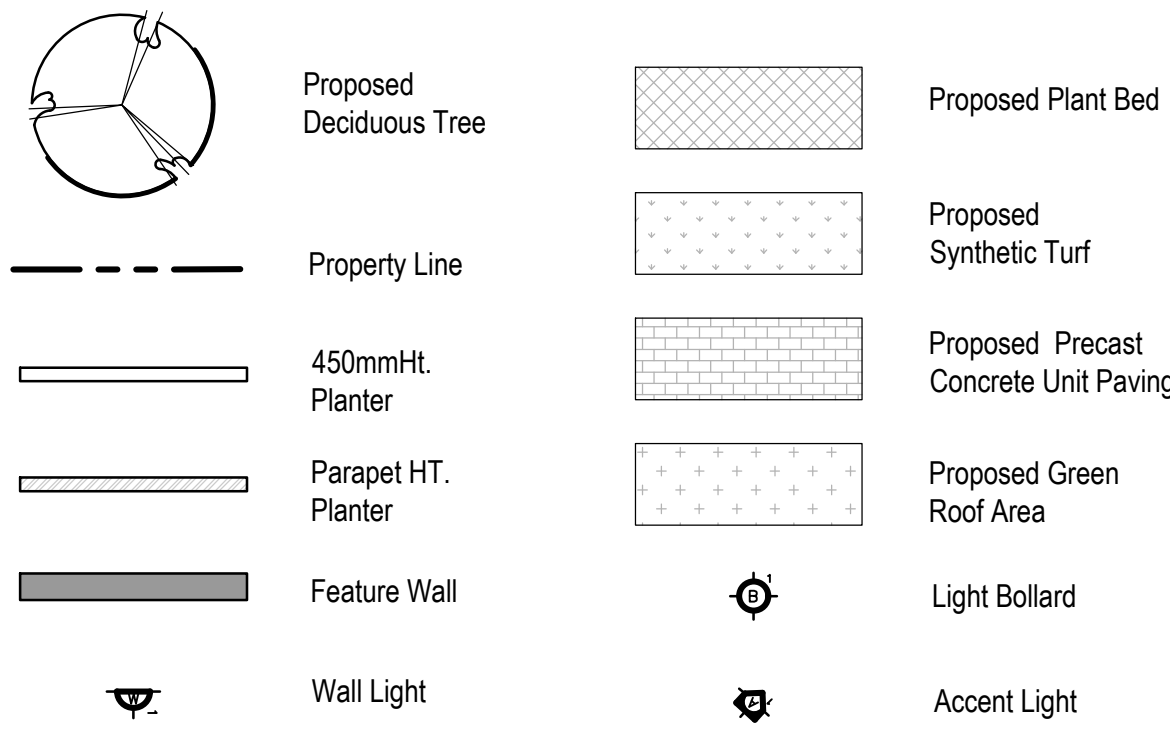
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Suggested Plant List

KEY	QNTY	BOTANICAL NAME	COMMON NAME	HT/CAL	SPREAD	ROOT	DROUGHT TOLERANT	NATIVE	REMARKS
DECIDUOUS TREES									
AXF		Acer x freemanii 'Jeffersred'	Jeffersred Freeman Maple	70 mm		B.&B.	High	Yes	Full Form
GKB		Ginkgo biloba	Maidenhair Tree	70 mm		B.&B.	High	No	Full Form
DECIDUOUS SPECIMEN SHRUB									
CEA		Ceanothus americanus	New Jersey Tea Shrub	60 cm		C.G.	High	Yes	Full Form
CNS		Cornus stolonifera	Red Osier Dogwood	80 cm		B.&B.	High	Yes	Full Form
WGR		Weigela 'Wine and Roses'	Wine and Roses Weigela	70 cm		C.G.	High	No	Full Form
CONIFEROUS SHRUBS									
TCF		Taxus cuspidata 'Fairview'	Fairview Yew		65 cm	C.G.	High	Yes	Full Form
JCG		Juniper chinensis 'Gold Coast'	Gold Coast Juniper		70 cm	C.G.	High	Yes	Full Form
PMM		Pinus mugo mugo	Dwarf Mugho Pine		70 cm	C.G.	Moderate	No	Full Form
PERENNIALS									
HPB		Hemerocallis 'Pandora's Box'	Pandora's Box (White) Daylilies			2 Gal.	High	No	Full Form
HSD		Hemerocallis 'Stella D'oro'	Stella D'oro (Yellow) Daylilies			2 Gal.	High	No	Full Form
ECH		Echinacea	Purple Cone Flower			2 Gal.	High	Yes	Full Form
GRASSES									
DEC		Deschampia cespitosa	Tufted Hairgrass			2 Gal.	High	Yes	Full Form - Native
MSG		Miscanthus sinensis 'Gracillimus'	Maidengrass Ornamental Grass			2 Gal.	High	No	Full Form

Legend



Architect:

Client/Owner:

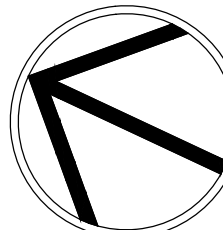
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North:

Stamp:



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1637-1645 Bathurst
Toronto, Ontario

Scale: 1:150 Date: April 2019

Drawn By: S.L. Checked By: L.M.

Drawing Title:

Level 4 Roof Amenity Plan

Project No. 17163 Sheet No. L3-01

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LANDSCAPE SPECIFICATIONS

CONTRACTOR MUST CONTACT ALL UTILITY COMPANIES FOR STAKE OUTS PRIOR TO ANY EXCAVATION OR PLANTING.

ROUGH GRADING

ROUGH GRADE AND FILL AREAS TO ESTABLISH SUBGRADE AS REQUIRED. PROVIDE DRAINAGE PATTERN AS INDICATED ON DRAWINGS. ROUND SMOOTHLY ALL TOPS AND TIDES OF SLOPES. COMPACT ALL AREAS TO 95% STANDARD PROCTOR DENSITY UNLESS SPECIFIED OTHERWISE. EXISTING TREES TO REMAIN ON SITE ARE TO BE PROTECTED AS DETAILED.

FINE GRADING

FINE GRADE ALL AREAS TO FINISHED GRADES AS SHOWN ON LAYOUT OR GRADING PLAN OR ARCHITECT'S SITE PLAN. PROVIDE UNIFORM SLOPES AWAY FROM THE BUILDING, UNLESS SPECIFIED OTHERWISE. SLOPES MAY NOT EXCEED 33.10% (3:1).

SPREADING OF TOPSOIL

SCARIFY THE SUBSOIL PRIOR TO THE SPREADING OF THE TOPSOIL. REMOVE ALL DEBRIS AND LEAVE A FINE, TEXTURED EVEN SURFACE. ALL TOPSOIL TO BE IMPORTED UNLESS PREVIOUSLY APPROVED BY LANDSCAPE ARCHITECT. OBTAIN APPROVAL FOR THE QUALITY OF ANY IMPORTED TOPSOIL BEFORE DELIVERY TO THE SITE. TOPSOIL IS TO BE COMPACTED TO CREATE A FIRM AND EVEN SURFACE.

SOD

USE NO. 1 GRADE TURFGRASS NURSERY SOD WHICH CONFORMS WITH THE SPECIFICATIONS OF THE NURSERY SOD GROWERS ASSOCIATION OF ONTARIO. ALL LAWN AREAS SHALL RECEIVE A MINIMUM OF 150MM (6") OF COMPACTED TOPSOIL, AND SHALL BE SODDED WITH #1 KENTUCKY BLUEGRASS - FESCUE. NO SOD SLOPES ARE TO EXCEED 3:1. SLOPE IN EXCESS OF 4:1 TO BE PEGGED.

MINERAL FERTILIZER

APPLY THE FOLLOWING MINERAL FERTILIZER UNLESS SOILS TESTS SHOW OTHER REQUIREMENTS:

1. SODDED AREAS - 11% NITROGEN, 8% PHOSPHORUS AND 4% POTASH (11-8-4) AT THE RATE OF 4.5 KG OVER M2 (10 LBS OVER 1000 SQ. FT.)

2. PLANTING BEDS - 7% NITROGEN, 7% PHOSPHORUS AND 7% POTASH (7-7-7) AT THE RATE OF 40 GRAMS (4 OZ.) FOR EVERY BUSH/EL OF TOPSOIL.

PREPARATION OF PLANTING BEDS

PREPARE THE PLANTING BEDS FOR PLANTING BEFORE THE DELIVERY OF THE PLANT MATERIAL TO THE JOB SITE. ALL PLANT BEDS TO BE CONTINUOUS. EXCAVATE ALL PLANTING BEDS TO THE DEPTH AS INDICATED ON THE DRAWINGS AND DETAILS. MIN 450mm (18"). BACKFILL ALL PLANTING BEDS WITH A SOIL MIXTURE CONSISTENT WITH THE CITY OF TORONTO STANDARD CONSTRUCTION SPECIFICATIONS FOR GROWING MEDIUM (TS 5.10).

TYPE I - STANDARD MIX (FOR SODDING & TREES PLANTED IN TURF): TEXTURE TO BE 60-60% SAND, 20-40% SILT, AND 1-10% CLAY. ORGANIC MATTER 2.5% BY DRY WEIGHT; PH 6.0-7.8. PHOSPHORUS 10-60 PPM, POTASSIUM 80-250 PPM, CALCIUM < 5000 PPM, MAGNESIUM 100-300 PPM, SOLUBLE SALT < 1.5 MMHOSCM. INFILTRATION/PERMEABILITY/HYDRAULIC CONDUCTIVITY 60-75 MMHR (AT 85% PROCTOR DENSITY).

TYPE II - PLANTING BED MIX (FOR HORTICULTURAL BEDS OF SHRUBS & PERENNIALS): VOLUMETRIC MIX OF 50% TOPSOIL, 20% COARSE SAND, AND 30% PINE BARK COMPOST. ORGANIC MATTER > 5%; PH 6.0-7.8. PHOSPHORUS 10-60 PPM, POTASSIUM 80-250 PPM, CALCIUM < 5000 PPM, MAGNESIUM 100-300 PPM, SOLUBLE SALT < 1.5 MMHOSCM. INFILTRATION/PERMEABILITY/HYDRAULIC CONDUCTIVITY 50-75 MMHR (AT 85% PROCTOR DENSITY).

TYPE III - BOULEVARD MIX (FOR TREES PLANTED IN HARDSCAPED BOULEVARDS AND OVER UNDERGROUND STRUCTURES): VOLUMETRIC MIX OF 40-45% TOPSOIL, 40-45% COARSE SAND, AND 12-15% PINE BARK COMPOST. PARTICLE SIZE DISTRIBUTION OF < 45% MEDIUM-COARSE SAND (0.25-2.5 MM) PLUS GRAVEL (0.5 MM, 18-25% TOTAL COMBINED SILT AND CLAY, ORGANIC MATTER 3.5% BY DRY WEIGHT; PH 6.0-7.8. PHOSPHORUS 10-60 PPM, POTASSIUM 80-250 PPM, CALCIUM < 5000 PPM, MAGNESIUM 100-300 PPM, SOLUBLE SALT < 1.5 MMHOSCM. INFILTRATION/PERMEABILITY/HYDRAULIC CONDUCTIVITY 50-75 MMHR (AT 85% PROCTOR DENSITY).

NOTE: IF THE EXISTING SOIL CONDITIONS ARE CLAY OR WET IN NATURE, CONTACT THE LANDSCAPE ARCHITECT FOR INSTRUCTIONS OF A SUITABLE SOIL MIXTURE. FAILURE TO DO THIS MAY RESULT IN DELAY OF APPROVAL AND ACCEPTANCE.

LANDSCAPE SPECIFICATIONS

SCALE: N.T.S. DATE:

PLANT MATERIALS

ALL PLANT MATERIAL SHALL CONFORM TO THE STANDARDS OF THE CANADIAN NURSERY TRADES ASSOCIATION FOR SIZE AND SPECIES. ALL SHRUBS AND TREE MATERIAL SHALL BE CONTAINER GROWN, POTTED, SB OR BIB, UNLESS OTHERWISE NOTED. BARE ROOT PLANTING SHALL BE ACCEPTABLE FOR CERTAIN SPECIES DURING EARLY SPRING OR LATE FALL PLANTING SEASON. CONTRACTOR SHALL MAKE REQUESTS FOR ROOT CONDITION SUBSTITUTION IN WRITING TO THE LANDSCAPE ARCHITECT PRIOR TO COMMENCEMENT OF PLANTING OPERATIONS. ALL PLANT MATERIAL TO BE CLAY GROWN STOCK UNLESS OTHERWISE NOTED.

PLANT MATERIAL INSTALLATION

ALL TREES, SHRUBS AND GROUNDCOVERS SHALL BE PLANTED AS DETAILED & AS SHOWN ON THE PLANTING PLAN. ALL BEDS TO RECEIVE A COVER OF CLEAN MULCH TO A DEPTH OF 75mm (3") FOR GUYING AND STAKING TREES. REFER TO PLANTING DETAILS. WRAP ALL DECIDUOUS TREES UNDER EXPERIENCED SUPERVISION ONLY TO THE SPECIFICATIONS OF THE ONTARIO LANDSCAPE CONTRACTORS ASSOCIATION.

PLANT MATERIAL SIZES AND CONDITIONS ARE TO BE AS INDICATED ON THE LANDSCAPE DRAWING. THE INDIVIDUAL PLANT GROUPING TOTAL AS ILLUSTRATED ON THE PLANTING PLAN SUPERSEDES THE ESTIMATED QUANTITY ON THE MASTER PLANT LIST. CONTRACTOR MUST REPORT ANY DISCREPANCIES TO THE LANDSCAPE ARCHITECT IN WRITING BEFORE COMMENCING ANY WORK. CONTRACTOR WILL ASSUME FULL RESPONSIBILITY IF LANDSCAPE ARCHITECT IS NOT NOTIFIED OF DISCREPANCIES.

* MULCH - SHREDDED PINE MULCH BY "GRO BARK" OR APPROVED EQUAL. LANDSCAPE ARCHITECT TO APPROVE MULCH BEFORE INSTALLATION.

GENERAL MAINTENANCE

PROPER MAINTENANCE PROCEDURES ARE TO BE FULLY ADMINISTERED FOR ALL NEWLY CONSTRUCTED LANDSCAPE WORK, IN ACCORDANCE WITH LANDSCAPE ONTARIO SPECIFICATIONS SECTION 15 - MAINTENANCE WORK. THIS SHALL APPLY ONLY DURING THE CONSTRUCTION PERIOD, UNLESS OTHERWISE SPECIFIED. CONTRACTOR IS RESPONSIBLE FOR MAINTENANCE OF SOD AND PLANTING UNTIL FINAL ACCEPTANCE BY LANDSCAPE ARCHITECT.

RODENT PROTECTION

THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL TREES AND SHRUBS FOR WINTER PROTECTION AND FROM RODENT INJURY FOR THE DURATION OF GUARANTEE PERIOD. PROTECTIVE GUARDS SHALL BE EMPLOYED AGAINST ALL DECIDUOUS TREES. GUARDS TO BE 150MM DIA. PVC PIPE OR AS MUNICIPAL GUIDELINES. GUARDS SHALL BE INSTALLED PRIOR TO THE APPLICATION OF THE MULCH AND SHOULD BE PLACED A MINIMUM OF 50MM (2") OUT FROM THE TREE TRUNK ON ALL SIDES. ALL SHRUBS AND CONIFEROUS TREES SHALL HAVE AN APPLICATION OF "SKOOT" OR APPROVED EQUIVALENT RODENT FORMULA TO BE APPLIED AT THE END OF OCTOBER. FOLLOW MANUFACTURER'S DIRECTIONS FOR APPLICATION.

GENERAL REQUIREMENTS

USE ABOVE SPECIFICATIONS IN CONJUNCTION WITH THE GENERAL LANDSCAPE SPECIFICATIONS OF THE ONTARIO LANDSCAPE CONTRACTORS ASSOCIATION, THE NURSERY SOD GROWERS ASSOCIATION OF ONTARIO AND WITH THE GUIDE SPECIFICATIONS FOR NURSERY STOCK OF THE CANADIAN NURSERY TRADES ASSOCIATION. USE ONLY PLANT MATERIAL TRUE TO NAME, SIZE AND GRADE AS SPECIFIED ON PLANTING PLAN. PROVIDE SUFFICIENT LABELS OR MARKINGS TO INDICATE CLEARLY THE VARIETY, SIZE AND GRADE OF EACH SPECIES OR BUNDLE.

OBTAIN APPROVAL FOR SUBSTITUTIONS AS TO VARIETY, SIZE OR GRADE FROM THE LANDSCAPE ARCHITECT. USE ONLY NURSERY STOCK GROWN UNDER PROPER HORTICULTURAL PRACTICES, VIABLE, FREE FROM PEST AND DISEASE AND UNDAMAGED. CHECK LOCATIONS AND OBTAIN STAKEOUTS OF ALL UTILITY LINES BEFORE EXCAVATION. OBTAIN ALL NECESSARY PERMITS BEFORE COMMENCEMENT OF CONSTRUCTION. REPORT IN WRITING ANY DISCREPANCIES IN THE DRAWINGS, SPECIFICATIONS AND CONTRACT DOCUMENTS TO THE LANDSCAPE ARCHITECT BEFORE THE END OF THE BIDDING PROCESS AND COMMENCEMENT OF CONSTRUCTION. THESE SPECIFICATIONS MAY BE SUPERCEDED BY ADDITIONAL SPECIFICATIONS SET OUT IN THE TENDER DOCUMENTS. CONTRACTOR TO REVIEW ALL DOCUMENTS.

GUARANTEE PERIOD

PROVIDE ONE FULL YEAR GUARANTEE ON ALL LANDSCAPE WORK FROM DATE OF FINAL ACCEPTANCE BY LANDSCAPE ARCHITECT. GUARANTEE PERIOD MAY BE EXTENDED TO TWO FULL YEARS DEPENDING ON MUNICIPAL STANDARDS. CONTRACTOR TO VERIFY WITH OWNER AND LANDSCAPE ARCHITECT.

PLANT MATERIAL INSTALLATION

SCALE: N.T.S. DATE:

WINTER PROTECTION:
Shrubs to be wrapped with burlap or approved equal during guarantee period.

PRUNING: (To suit species)
Prune to remove damaged or objectionable branches following proper horticultural practices. DO NOT PRUNE LEADERS.

GUYING: As directed, appropriate to species and size of shrub

MULCHING: 102 (4") shredded bark mulch be "All Treat" or equal. Provide 102 (4") saucer.

CUT AND REMOVE: burlap from top ½ of ball as shown (B.B. as per plant list)

FERTILIZER: Two (2) 21 gram Agriform tablets or approved equivalent for each shrub in bed.

SPACING: As directed.

FOR RODENT CONTROL: See landscape specifications or apply "Skoot" at the end of October. Note: All tree stakes, ties and guards are to be removed one year after installation by the landscape contractor.

PREPARATION OF BED: Excavate shrub bed to SOD outlined on drawings, minimum 457 (18") depth. Remove any subsoil or rubbish off site unless otherwise directed.

PLANTING SOIL MIXTURE:
REFER TO SOIL SPECIFICATIONS - MUST COMPLY WITH CITY OF TORONTO STANDARD CONSTRUCTION SPECIFICATIONS FOR GROWING MEDIUM (TS 5.10)

STANDARD SHRUB PLANTING DETAIL

SCALE: N.T.S. DATE:

PLANTING SOIL MIXTURE:
REFER TO SOIL SPECIFICATIONS - MUST COMPLY WITH CITY OF TORONTO STANDARD CONSTRUCTION SPECIFICATIONS FOR GROWING MEDIUM (TS 5.10)

STAKING: Secure three (3) stakes to main tree trunk with approved short hemp rope. Ensure the stakes are not in contact with the bark. Secure into ground with a minimum depth of 350 (1'-6").

MULCHING: Provide 102 (4") shredded bark mulch forming a saucer around base of tree. Maintain the original grade or slightly higher.

CUT AND REMOVE: burlap from top ½ of ball.

FERTILIZER: Two (2) 21 gram Agriform tablets for wach 25 (1") of trunk diameter (or approved method by Landscape Architect).

GRADES: Maintain original grade of tree base after planting, or slightly higher to suit site conditions.

SCARIFY: edges to allow for root penetration

UNDISTURBED SOIL

ALL GIVEN DIMENSIONS ARE IN METRIC
WIRE BASKETS OR STRING ON ROOT BALL - CUT AND TOP REMOVE ¾

NOTE: All tree stakes, ties, wraps and guards are to be removed one year after installation by the landscape contractor.

STANDARD CONIFEROUS TREE DETAIL

SCALE: N.T.S. DATE:

PRUNING: By ½ to remove damaged or objectionable branches following proper horticultural practice. DO NOT PRUNE LEADERS.

PLASTIC MESH TREE GUARD: For rodent protection

CUT AND REMOVE: burlap from top ½ of ball. All twine and burlap is to be bio-degradable

MULCHING: 102 (4") shredded bark mulch by "All Treat" or equal.

GRADES: Maintain original grade of tree base after planting, or slightly higher to suit site conditions.

SLOPES: Build up earth saucer on downhill side. Earth saucer to be compacted.

FERTILIZER: Two (2) 21 gram Agriform tablets for wach 25 (1") of trunk diameter (or approved method by Landscape Architect).

SCARIFY: edges to allow for root penetration

UNDISTURBED SOIL

PLANTING SOIL MIXTURE:
REFER TO SOIL SPECIFICATIONS - MUST COMPLY WITH CITY OF TORONTO STANDARD CONSTRUCTION SPECIFICATIONS FOR GROWING MEDIUM (TS 5.10)

STANDARD DECIDUOUS TREE PLANTING IN BED

SCALE: N.T.S. DERIVED FROM - CITY OF TORONTO - URBAN FORESTRY SERVICE (DETAIL PD-101)

REMOVE ALL DEBRIS AND CONTAMINATED SOIL FROM PLANTING SPACE PRIOR TO PLANTING.

DO NOT PLANTING HOLE TO THE DEPTH OF ROOT BALL SUCH THAT THE TRUNK FLARE IS FLUSH WITH THE PAVING ELEVATION.

TREE WILL BE POSITIONED WITH TRUNK FLARE SLIGHTLY ABOVE FINAL GRADE AND TOP ROOTS NEAR SURFACE. TOP OF ROOT BALL SHOULD NOT BE SET BEHIND OR CORNER WITH SOIL.

CUT BURLAP AWAY. DO NOT FOLD DOWN, FOLD WIRE DOWN INTO THE HOLE.

GROWING MEDIUM SHOULD BE LIGHTLY TAMPED ONCE HALF THE PLANTING HOLE IS FILLED. ONCE 1/2 OF DEPTH OF PLANTING PT WAS BEEN BACKFILLED, FILL REMAINING SPACE WITH WATER. ONCE WATER HAS PENETRATED GROWING MEDIUM, FILL TO FINISH GRADE. SOAK GROWING MEDIUM TO ENSURE FULL CONTACT BETWEEN ROOT BALL AND GROWING MEDIUM.

IN OPEN PLANTING BEDS, A 25-50mm HIGH SAUCER OF SOIL SHOULD BE FORMED AROUND THE EDGE OF THE ROOT BALL.

25-50mm MULCH SHOULD BE ADDED ON TOP OF AND AROUND THE ROOT BALL TO A DEPTH NOT EXCEEDING 50mm AND SET A MINIMUM OF 40mm AWAY FROM ROOT FLARE/TRUNK.

PRUNE TO REMOVE DAMAGED BRANCHES. DO NOT REMOVE LEADER. REMOVE ANY CO-DOMINANT STEMS.

REMOVE WINTER TRUNK WRAP FROM TRUNK AND INSPECT FOR DAMAGE.

THOROUGHLY WATER ROOT BALL WITH DRIP IRRIGATION (BAG/GATOR BAG OR EQUAL).

IN ALL TREE OPENINGS (SLIP OR SMALLER), INSTALL TREE BARK PROTECTOR WITH A BARK PROTECTOR SADDLE LOOKING DOWN. BARK MUST BE ATTACHED TO TREE BARK PROTECTOR USING PLASTIC ZIP TIES.

AVOID STAKING BALLETS OR BURLAPPED TREES. CONSULT WITH CITY OF TORONTO, URBAN FORESTRY FOR ACCEPTABLE TECHNIQUES WHEN REQUIRED. SEE PLANTING SPECIFICATION.

TREE PLANTING SOLUTIONS IN HARD SURFACES DETAIL

SCALE: N.T.S. DERIVED FROM - CITY OF TORONTO - BEST PRACTICES MANUAL (DETAIL PL-1)

REMOVE ALL DEBRIS AND CONTAMINATED SOIL FROM PLANTING SPACE PRIOR TO PLANTING.

DO NOT PLANTING HOLE TO THE DEPTH OF ROOT BALL SUCH THAT THE TRUNK FLARE IS FLUSH WITH THE PAVING ELEVATION.

TREE WILL BE POSITIONED WITH TRUNK FLARE SLIGHTLY ABOVE FINAL GRADE AND TOP ROOTS NEAR SURFACE. TOP OF ROOT BALL SHOULD NOT BE SET BEHIND OR CORNER WITH SOIL.

CUT BURLAP AWAY. DO NOT FOLD DOWN, FOLD WIRE DOWN INTO THE HOLE.

GROWING MEDIUM SHOULD BE LIGHTLY TAMPED ONCE HALF THE PLANTING HOLE IS FILLED. ONCE 1/2 OF DEPTH OF PLANTING PT WAS BEEN BACKFILLED, FILL REMAINING SPACE WITH WATER. ONCE WATER HAS PENETRATED GROWING MEDIUM, FILL TO FINISH GRADE. SOAK GROWING MEDIUM TO ENSURE FULL CONTACT BETWEEN ROOT BALL AND GROWING MEDIUM.

IN OPEN PLANTING BEDS, A 25-50mm HIGH SAUCER OF SOIL SHOULD BE FORMED AROUND THE EDGE OF THE ROOT BALL.

25-50mm MULCH SHOULD BE ADDED ON TOP OF AND AROUND THE ROOT BALL TO A DEPTH NOT EXCEEDING 50mm AND SET A MINIMUM OF 40mm AWAY FROM ROOT FLARE/TRUNK.

PRUNE TO REMOVE DAMAGED BRANCHES. DO NOT REMOVE LEADER. REMOVE ANY CO-DOMINANT STEMS.

REMOVE WINTER TRUNK WRAP FROM TRUNK AND INSPECT FOR DAMAGE.

THOROUGHLY WATER ROOT BALL WITH DRIP IRRIGATION (BAG/GATOR BAG OR EQUAL).

IN ALL TREE OPENINGS (SLIP OR SMALLER), INSTALL TREE BARK PROTECTOR WITH A BARK PROTECTOR SADDLE LOOKING DOWN. BARK MUST BE ATTACHED TO TREE BARK PROTECTOR USING PLASTIC ZIP TIES.

AVOID STAKING BALLETS OR BURLAPPED TREES. CONSULT WITH CITY OF TORONTO, URBAN FORESTRY FOR ACCEPTABLE TECHNIQUES WHEN REQUIRED. SEE PLANTING SPECIFICATION.

TREE PLANTING SOLUTIONS IN HARD SURFACES DETAIL

SCALE: N.T.S. DERIVED FROM - CITY OF TORONTO - BEST PRACTICES MANUAL (DETAIL PL-2)

REMOVE ALL DEBRIS AND CONTAMINATED SOIL FROM PLANTING SPACE PRIOR TO PLANTING.

DO NOT PLANTING HOLE TO THE DEPTH OF ROOT BALL SUCH THAT THE TRUNK FLARE IS FLUSH WITH THE PAVING ELEVATION.

TREE WILL BE POSITIONED WITH TRUNK FLARE SLIGHTLY ABOVE FINAL GRADE AND TOP ROOTS NEAR SURFACE. TOP OF ROOT BALL SHOULD NOT BE SET BEHIND OR CORNER WITH SOIL.

CUT BURLAP AWAY. DO NOT FOLD DOWN, FOLD WIRE DOWN INTO THE HOLE.

GROWING MEDIUM SHOULD BE LIGHTLY TAMPED ONCE HALF THE PLANTING HOLE IS FILLED. ONCE 1/2 OF DEPTH OF PLANTING PT WAS BEEN BACKFILLED, FILL REMAINING SPACE WITH WATER. ONCE WATER HAS PENETRATED GROWING MEDIUM, FILL TO FINISH GRADE. SOAK GROWING MEDIUM TO ENSURE FULL CONTACT BETWEEN ROOT BALL AND GROWING MEDIUM.

IN OPEN PLANTING BEDS, A 25-50mm HIGH SAUCER OF SOIL SHOULD BE FORMED AROUND THE EDGE OF THE ROOT BALL.

25-50mm MULCH SHOULD BE ADDED ON TOP OF AND AROUND THE ROOT BALL TO A DEPTH NOT EXCEEDING 50mm AND SET A MINIMUM OF 40mm AWAY FROM ROOT FLARE/TRUNK.

PRUNE TO REMOVE DAMAGED BRANCHES. DO NOT REMOVE LEADER. REMOVE ANY CO-DOMINANT STEMS.

REMOVE WINTER TRUNK WRAP FROM TRUNK AND INSPECT FOR DAMAGE.

THOROUGHLY WATER ROOT BALL WITH DRIP IRRIGATION (BAG/GATOR BAG OR EQUAL).

IN ALL TREE OPENINGS (SLIP OR SMALLER), INSTALL TREE BARK PROTECTOR WITH A BARK PROTECTOR SADDLE LOOKING DOWN. BARK MUST BE ATTACHED TO TREE BARK PROTECTOR USING PLASTIC ZIP TIES.

AVOID STAKING BALLETS OR BURLAPPED TREES. CONSULT WITH CITY OF TORONTO, URBAN FORESTRY FOR ACCEPTABLE TECHNIQUES WHEN REQUIRED. SEE PLANTING SPECIFICATION.

TREE PLANTING SOLUTIONS IN HARD SURFACES DETAIL

SCALE: N.T.S. DERIVED FROM - CITY OF TORONTO - BEST PRACTICES MANUAL (DETAIL PL-2)

Client/Owner:

Starlight Investments

Starlight Investments Ltd.
1801 - 3300 Bloor St West, West Tower,
Toronto, ON M8X 2X2

Notes:

Toronto

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24	Issued for Re Submission	20/10/21
23	Revised per Comments	13/10/21
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19	Issued for Coordination	17/02/21
18	Issued for Coordination	16/02/21
17	Issued for Coordination	12/02/21
16	Revised per Comments	26/11/20
15	Issued for Review	17/11/20
14	Revised per Comments	10/11/20
13	Revised per Comments	30/10/20
12	Presentation Plan	20/09/20
11	Issued for Submission	20/09/04
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07	Issued for Coordination	24/06/20
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03	Issued for Coordination	11/12/19
02	Issued for Coordination	18/11/19
01	Issued for Meeting	23/04/19

No.	Revision	Date
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North:

Stamp:

Project: SPA No. 19 263095 STE 12

Proposed Residential Development
1637-1645 Bathurst
Toronto, Ontario

Scale: **As Shown** Date: **April 2019**

Drawn By: **S.L.** Checked By: **L.M.**

Drawing Title:

Landscape Details

Project No. **17163** Sheet No. **LD-01**

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Toronto, ON M8X 2X2

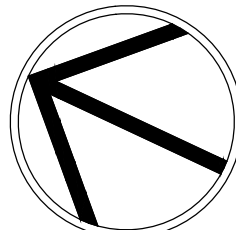
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No. Revision Date

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Project: SPA No. 19 263095 STE 12

Proposed Residential Development
1637-1645 Bathurst
Toronto, Ontario

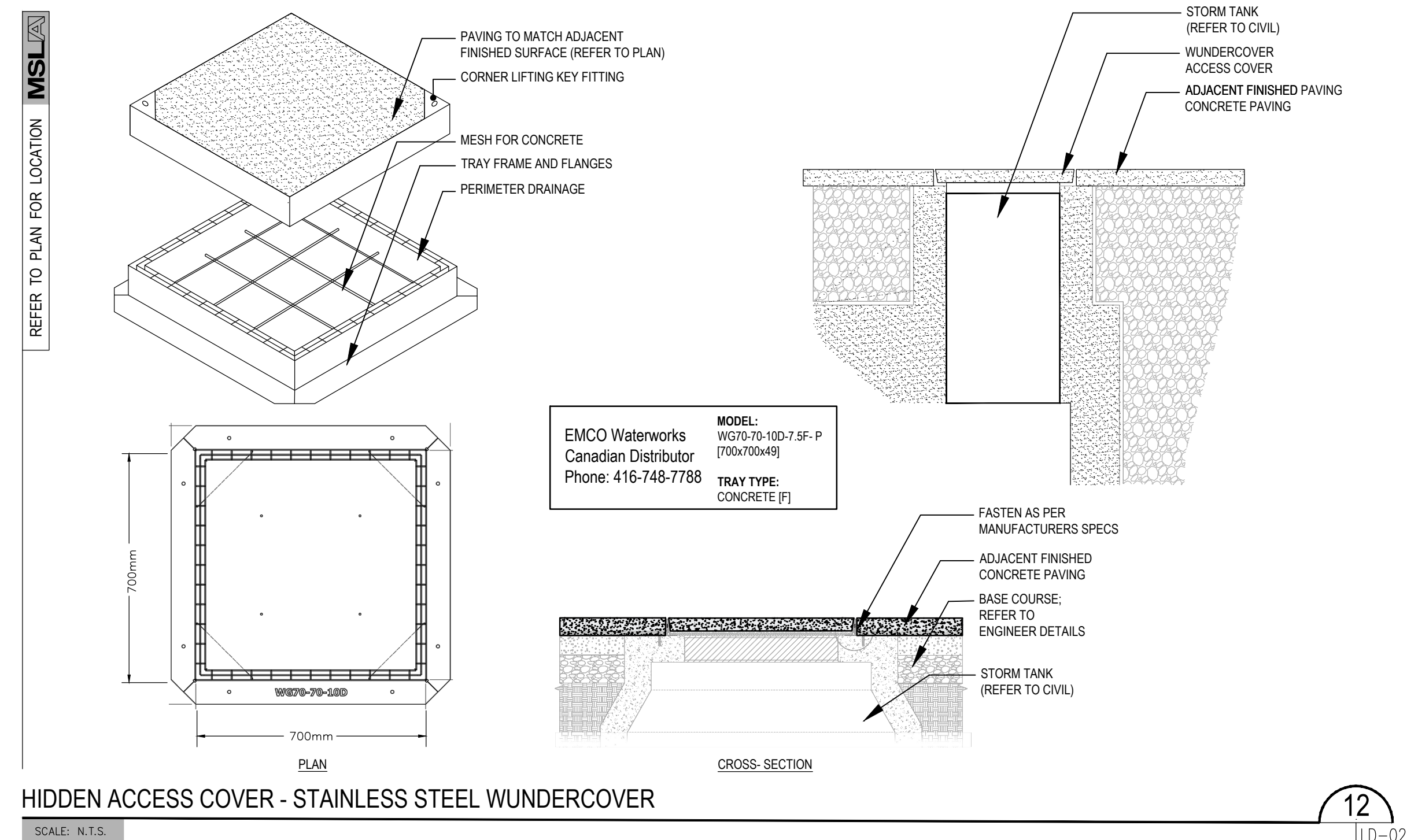
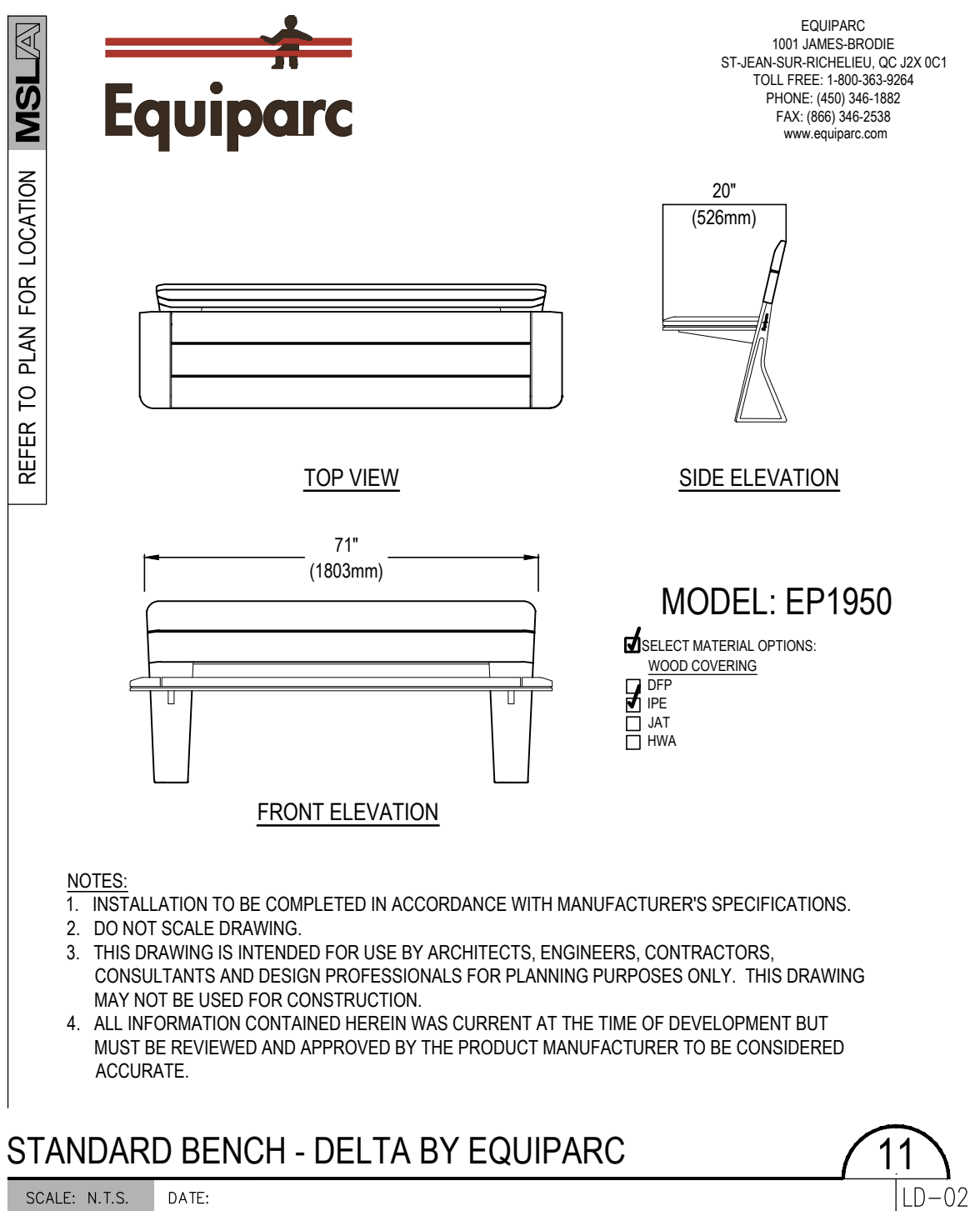
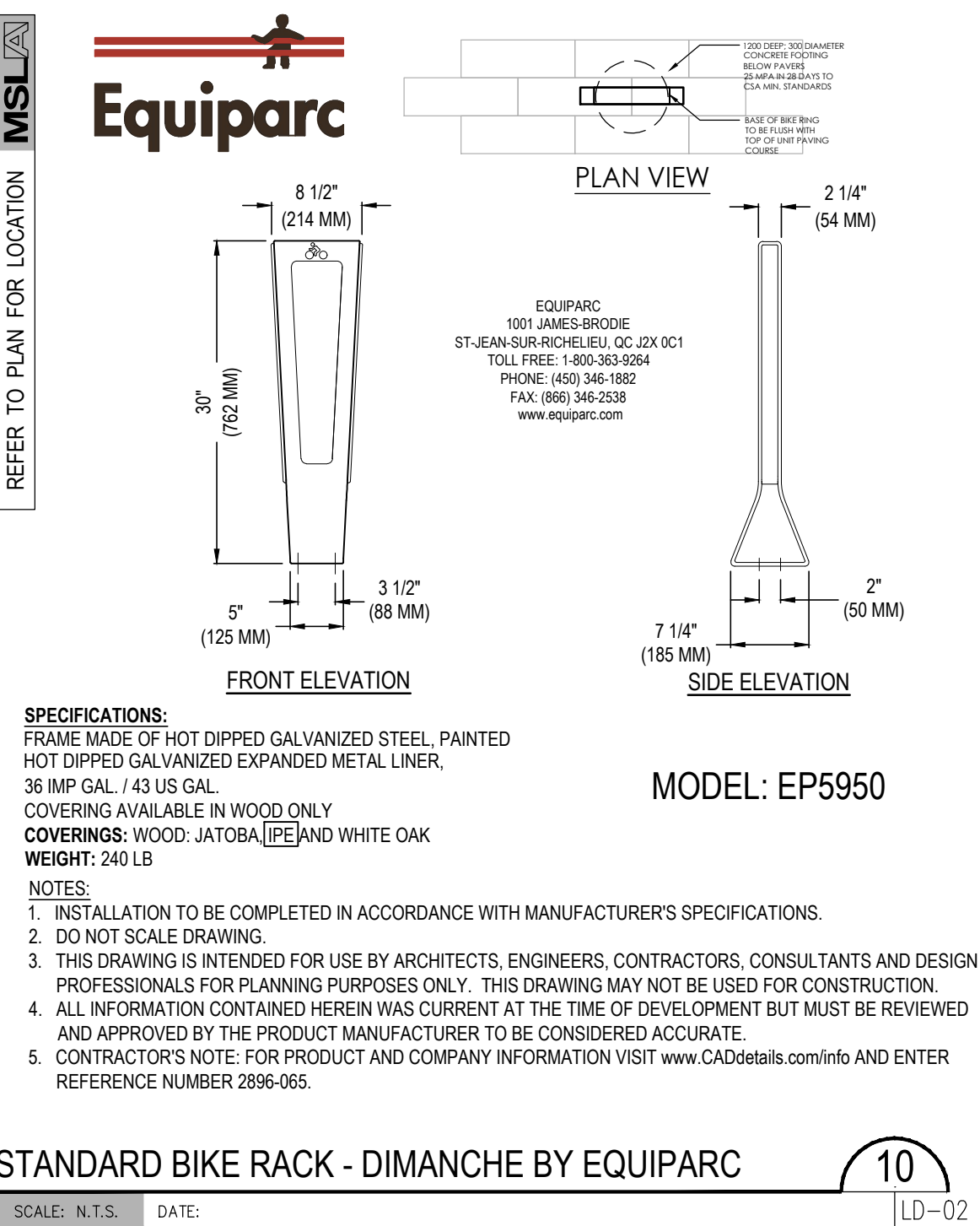
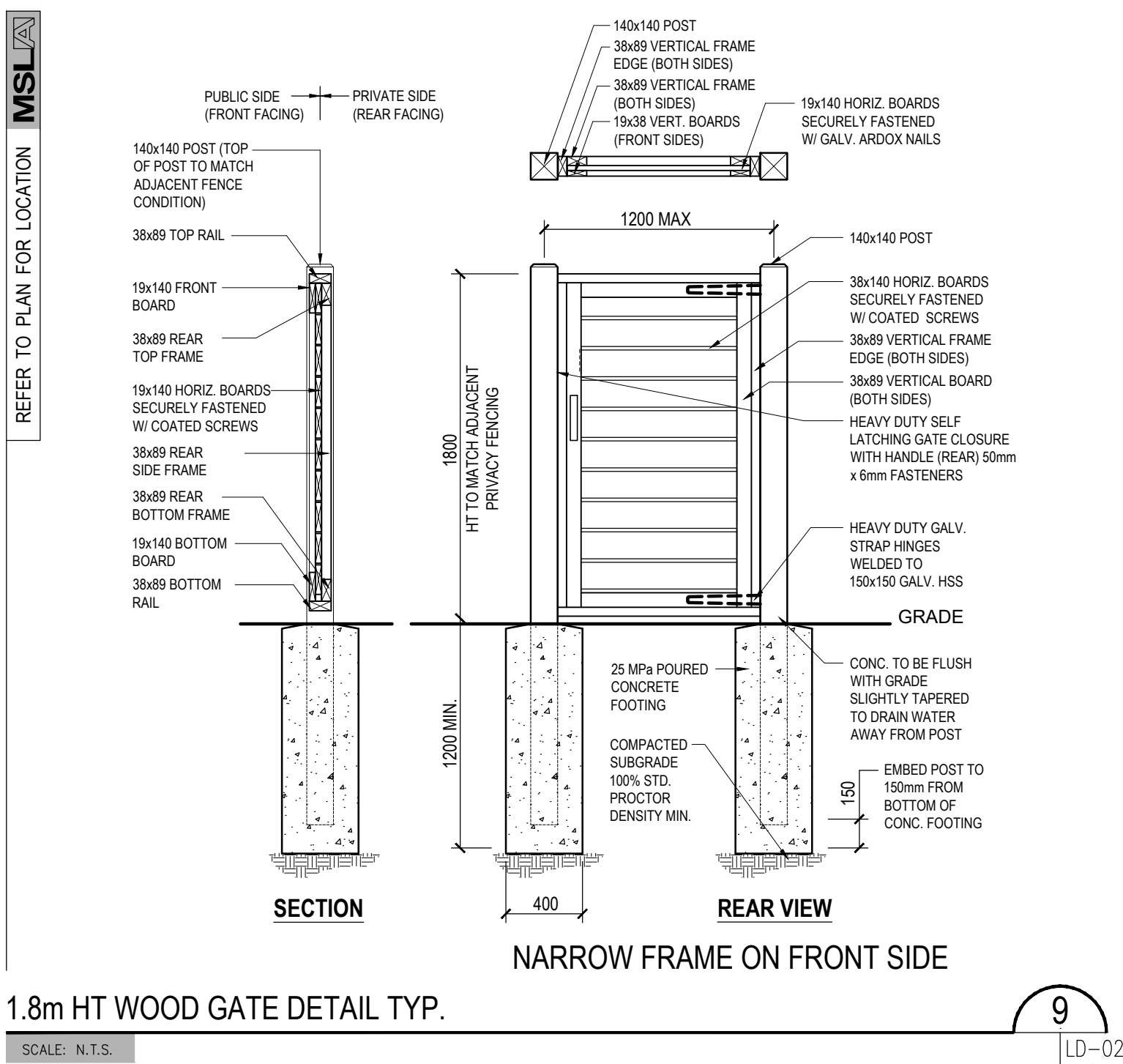
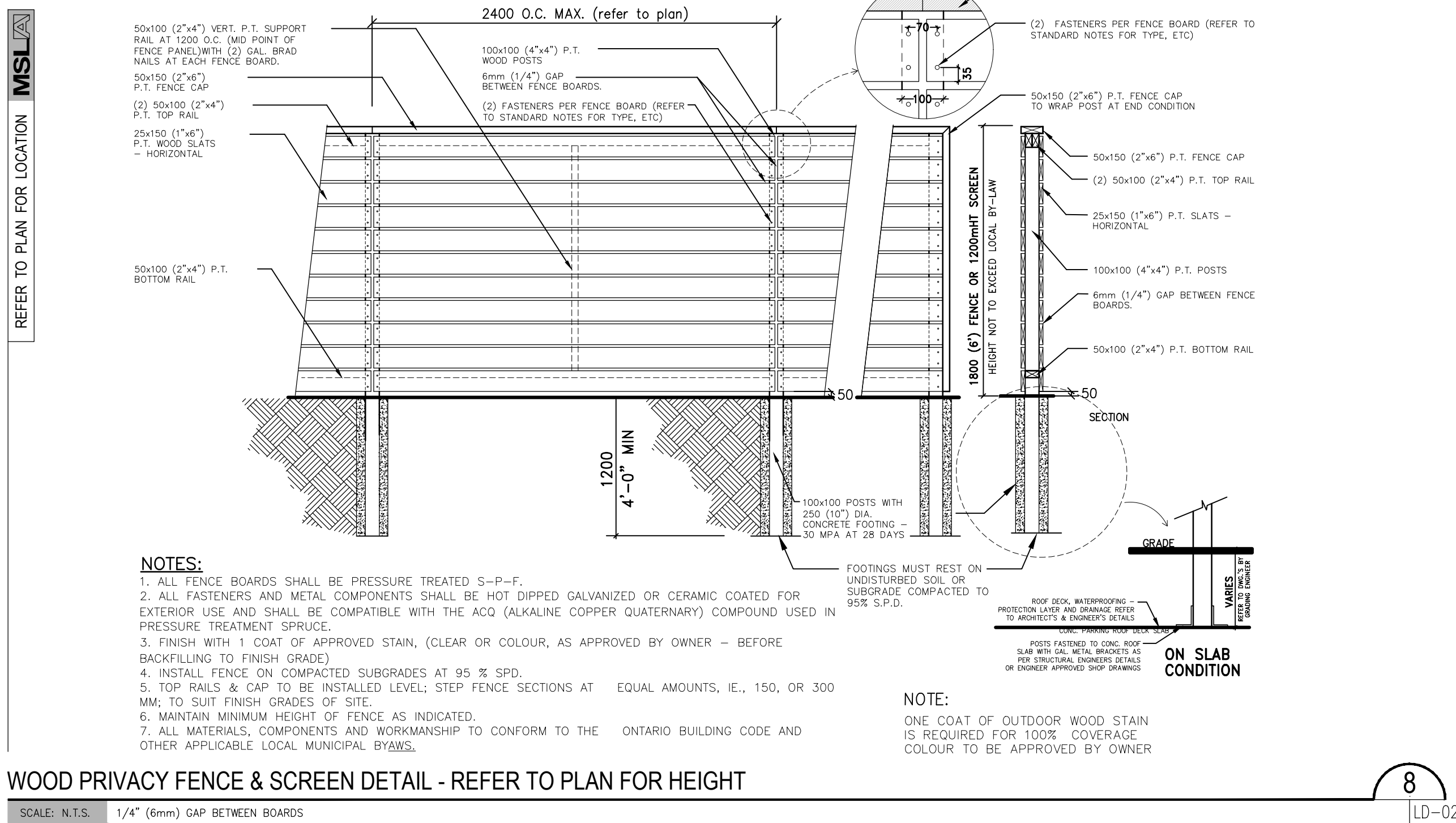
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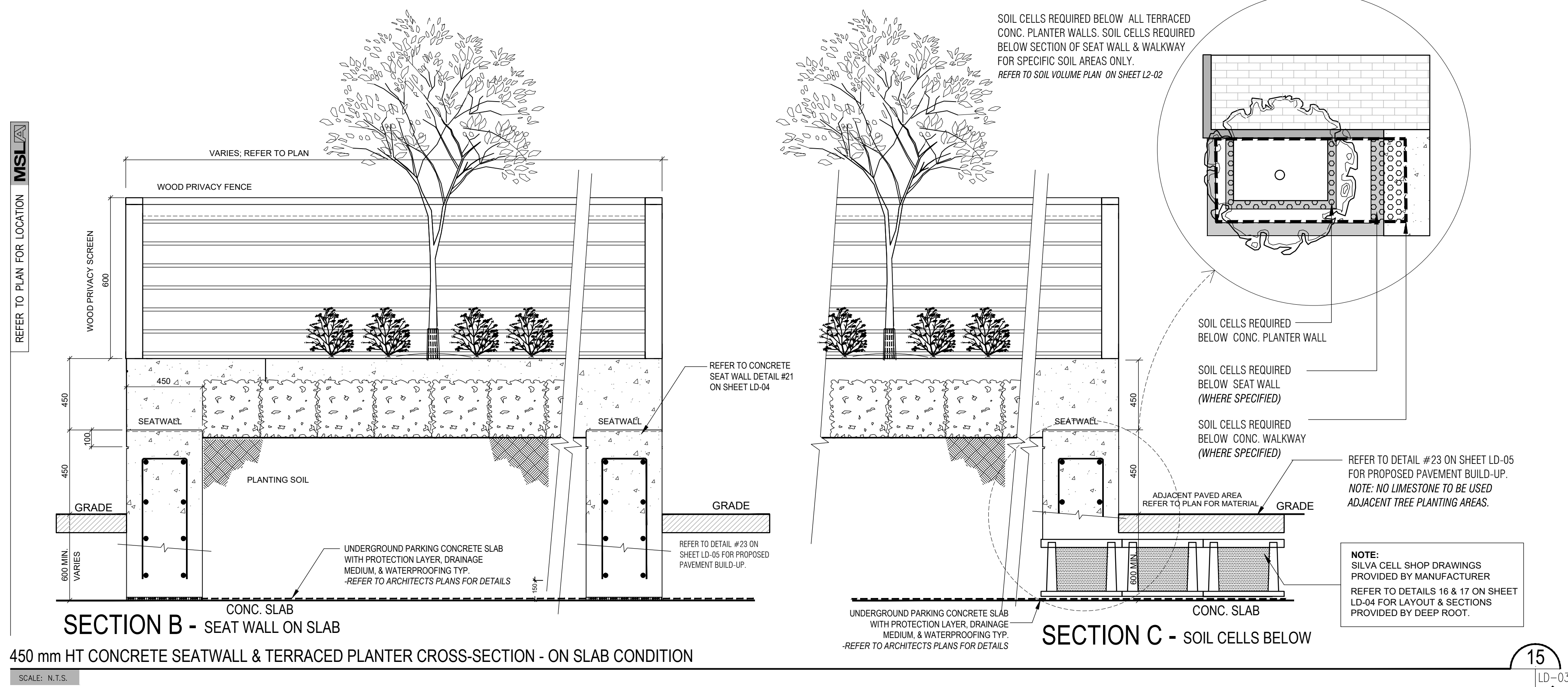
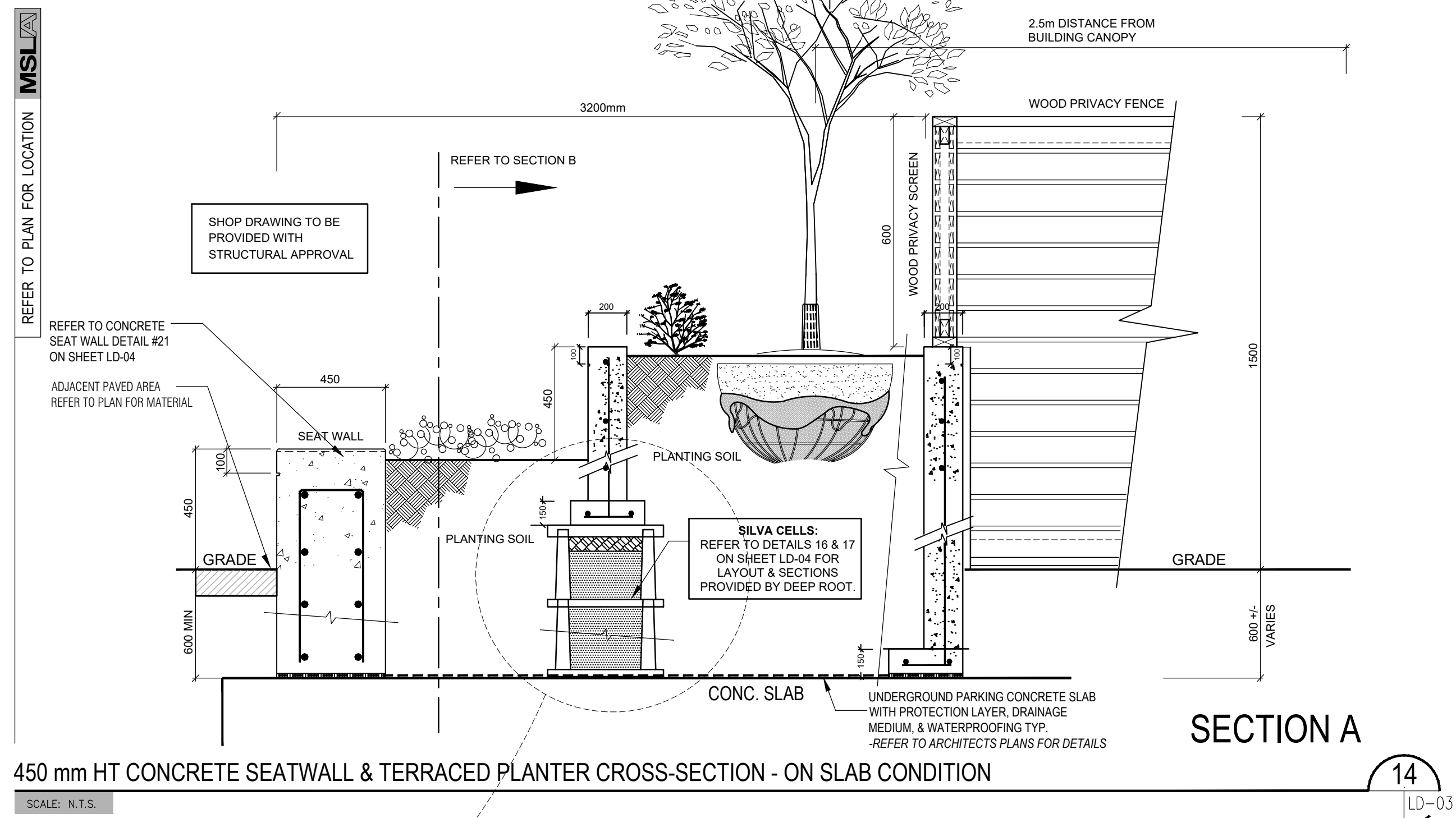
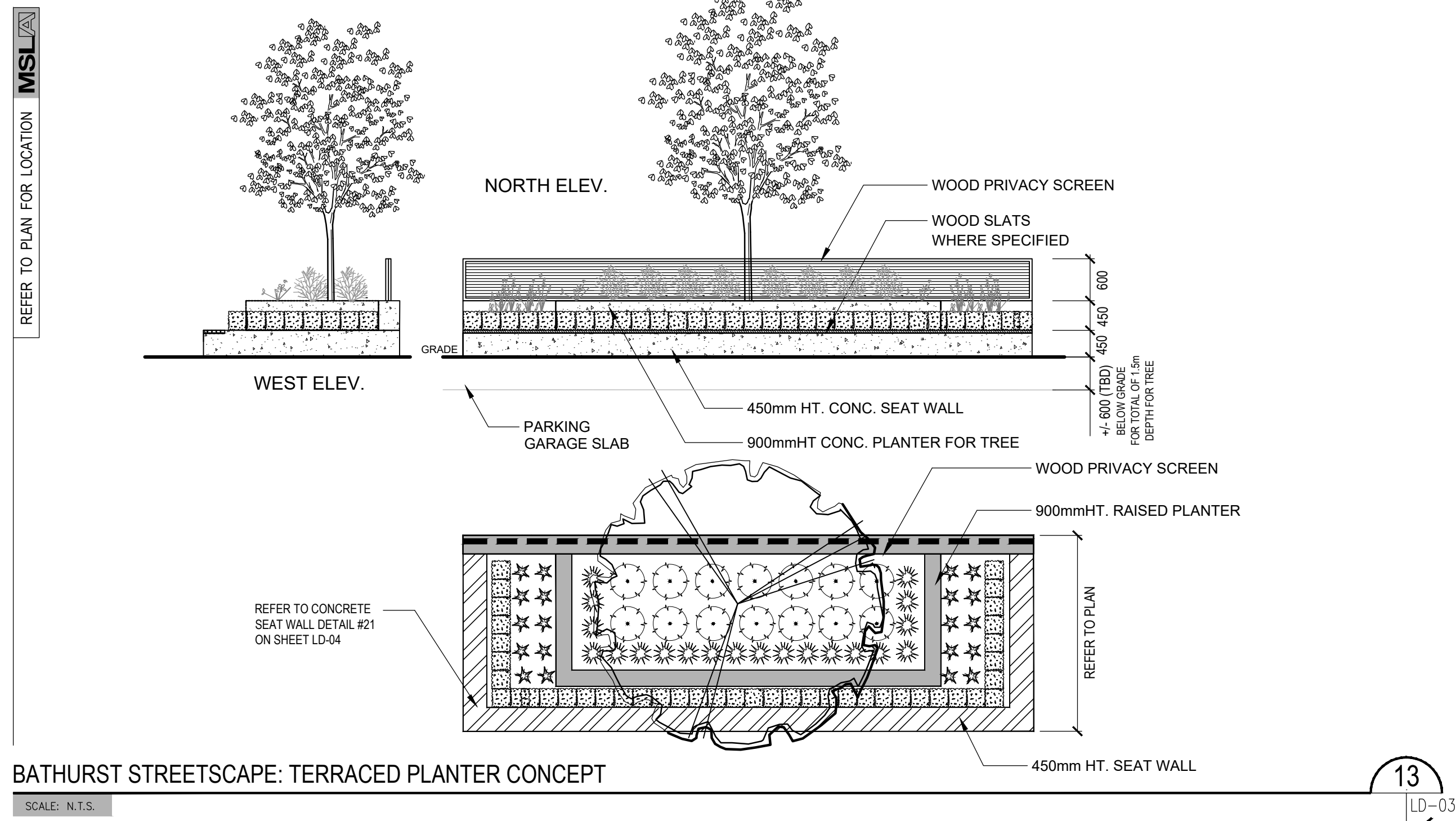
Drawn By: **S.L.** Checked By: **L.M.**

Drawing Title:

Landscape Details

Project No. **17163** Sheet No. **LD-02**





Client/Owner:



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1801 - 3300 Bloor St West, West Tower,
Toronto, ON M8X 2X2

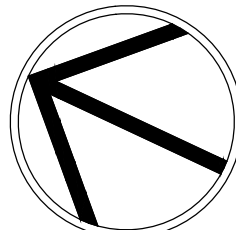
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19	Issued for Coordination	17/02/21
18	Issued for Coordination	16/02/21
17	Issued for Coordination	12/02/21
16	Revised per Comments	26/11/20
15	Issued for Review	17/11/20
14	Revised per Comments	10/11/20
13	Revised per Comments	30/10/20
12	Presentation Plan	20/09/20
11	Issued for Submission	20/09/04
10	Issued for Coordination	20/08/28
09	Issued for Coordination	20/08/25
08	Issued for Coordination	20/08/20
07	Issued for Coordination	24/06/20
06	Issued for Coordination	03/08/20
05	Issued for Review	04/06/20
04	Issued for Submission	18/12/19
03	Issued for Coordination	11/12/19
02	Issued for Coordination	18/11/19
01	Issued for Meeting	23/04/19

No. Revision Date

North: Stamp:



Project: SPA No. 19 263095 STE 12

Proposed Residential Development
1637-1645 Bathurst
Toronto, Ontario

Scale: **As Shown** Date: **April 2019**

Drawn By: **S.L.** Checked By: **L.M.**

Drawing Title:

Landscape Details

Project No. **17163** Sheet No. **LD-04**

REFER TO PLAN FOR LOCATION

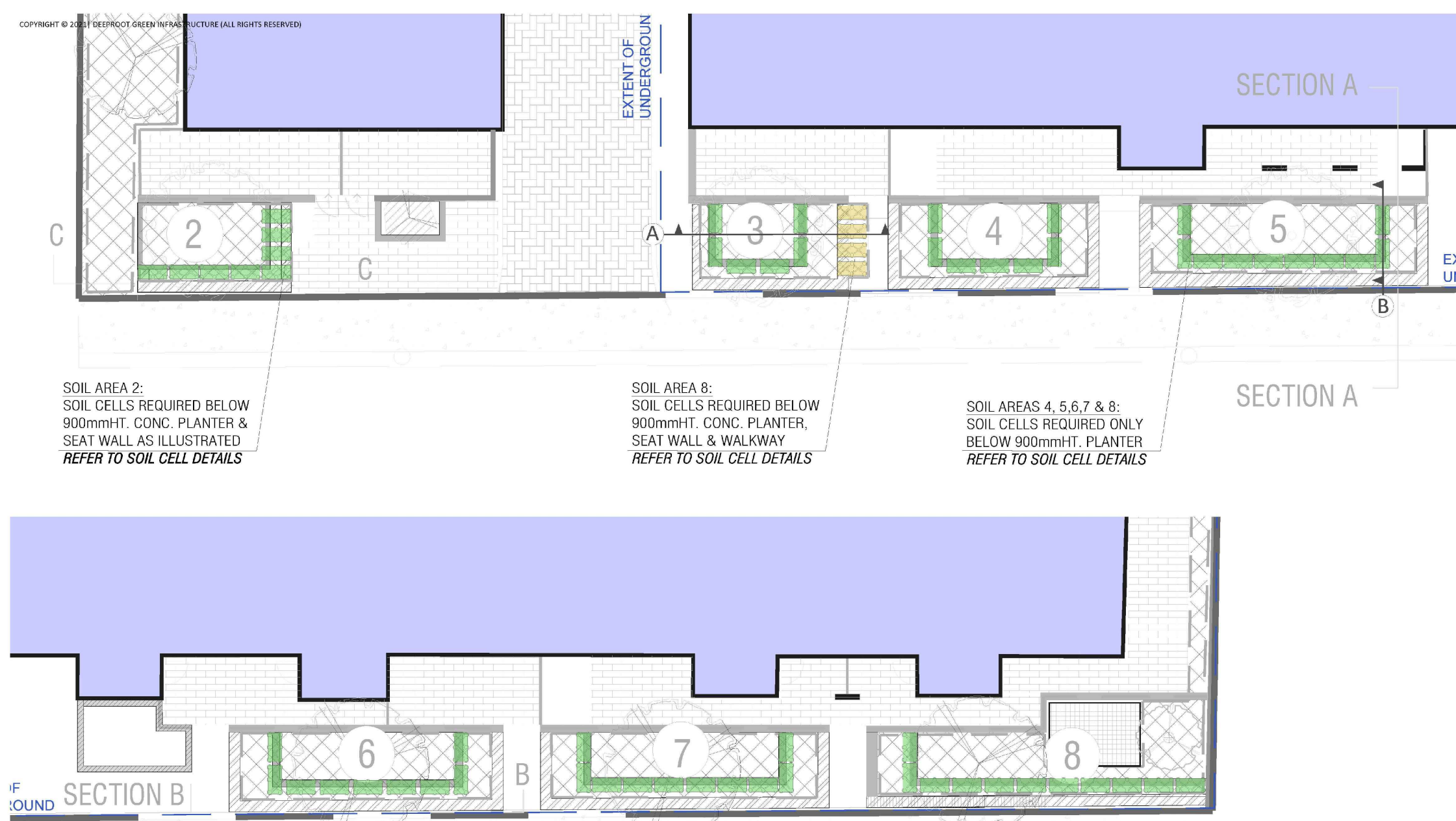


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Tel: 800 561 3883
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SILVA CELL LAYOUT
(4) 1x Silva Cells
(61) 2x Silva Cells

DISCLAIMER:
Silva Cell 2 layouts are preliminary, and are based on the accuracy of the provided base information. Layouts use 150mm spacing by default. Spacing between Silva Cells can vary between 25mm-150mm. Field adjustment may be required. Client/Contractor is responsible for verifying location of structures and utilities that may be in conflict with this proposed Silva Cell 2 layout. When determining size of excavation, allow space for Cells, spacing between frames, and backfill.

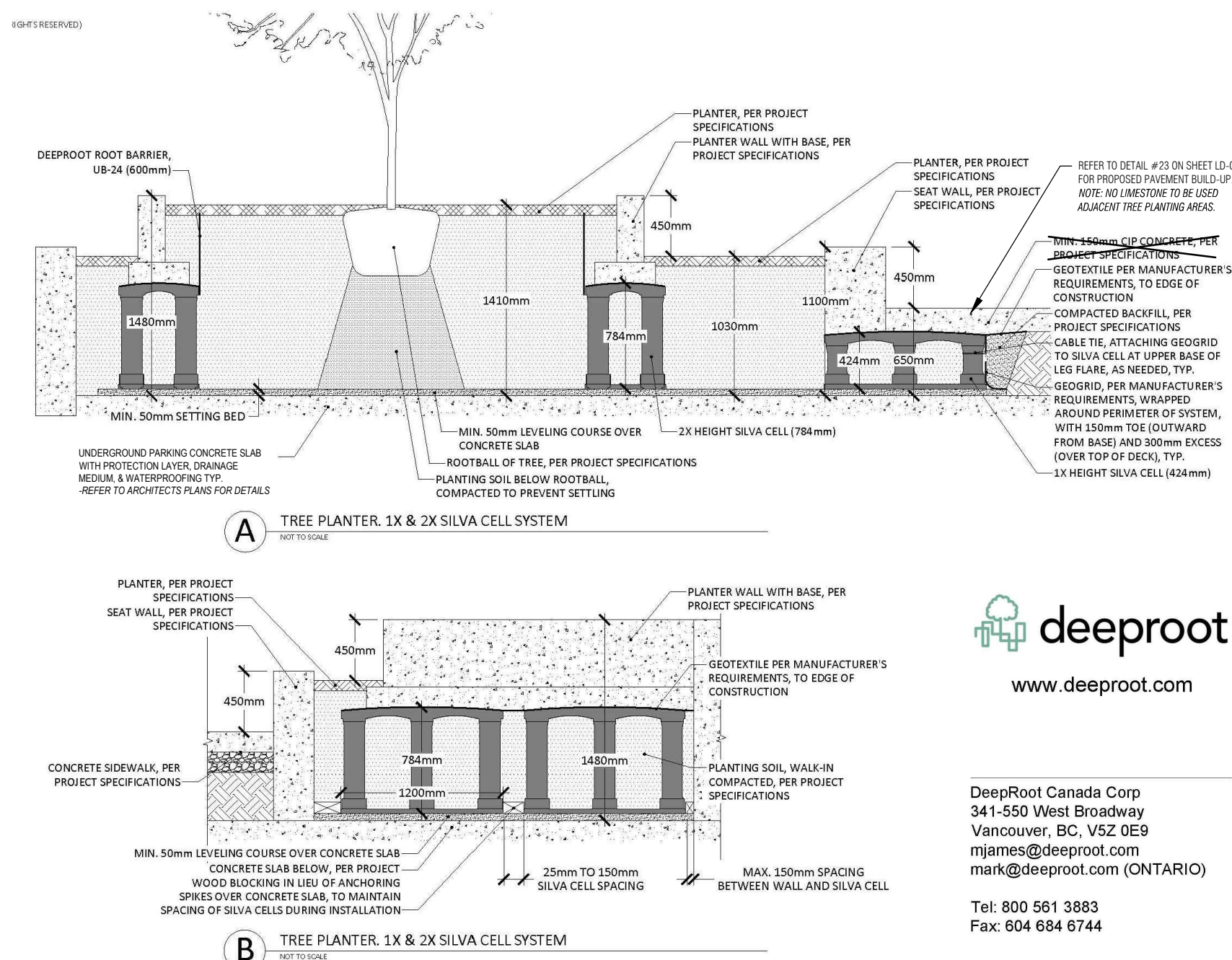


DEEPROOT: SILVA CELL LAYOUT

SCALE: N.T.S.

16
LD-04

REFER TO PLAN FOR LOCATION

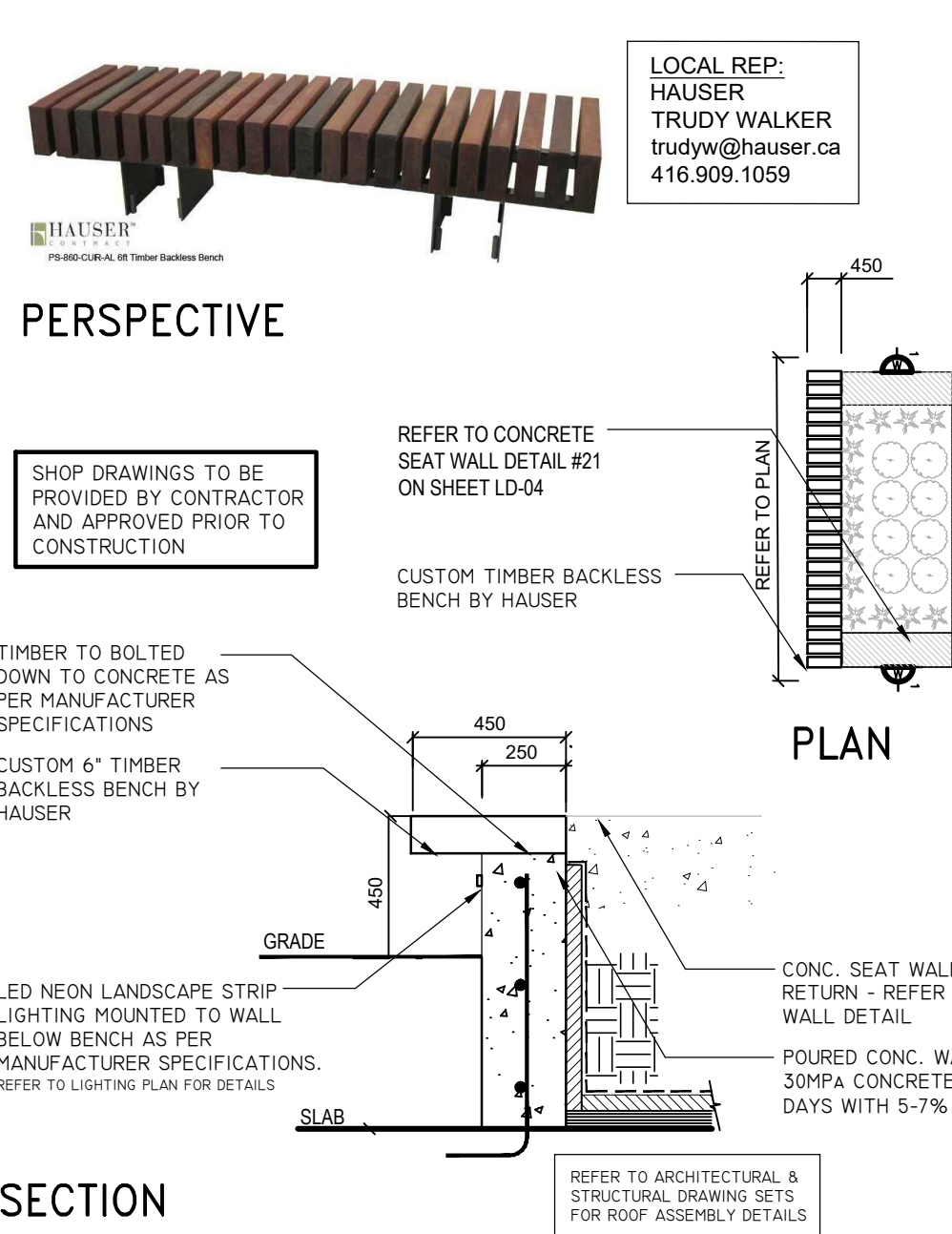


DEEPROOT: SILVA CELL SECTIONS A & B

SCALE: N.T.S.

17
LD-04

REFER TO PLAN FOR LOCATION

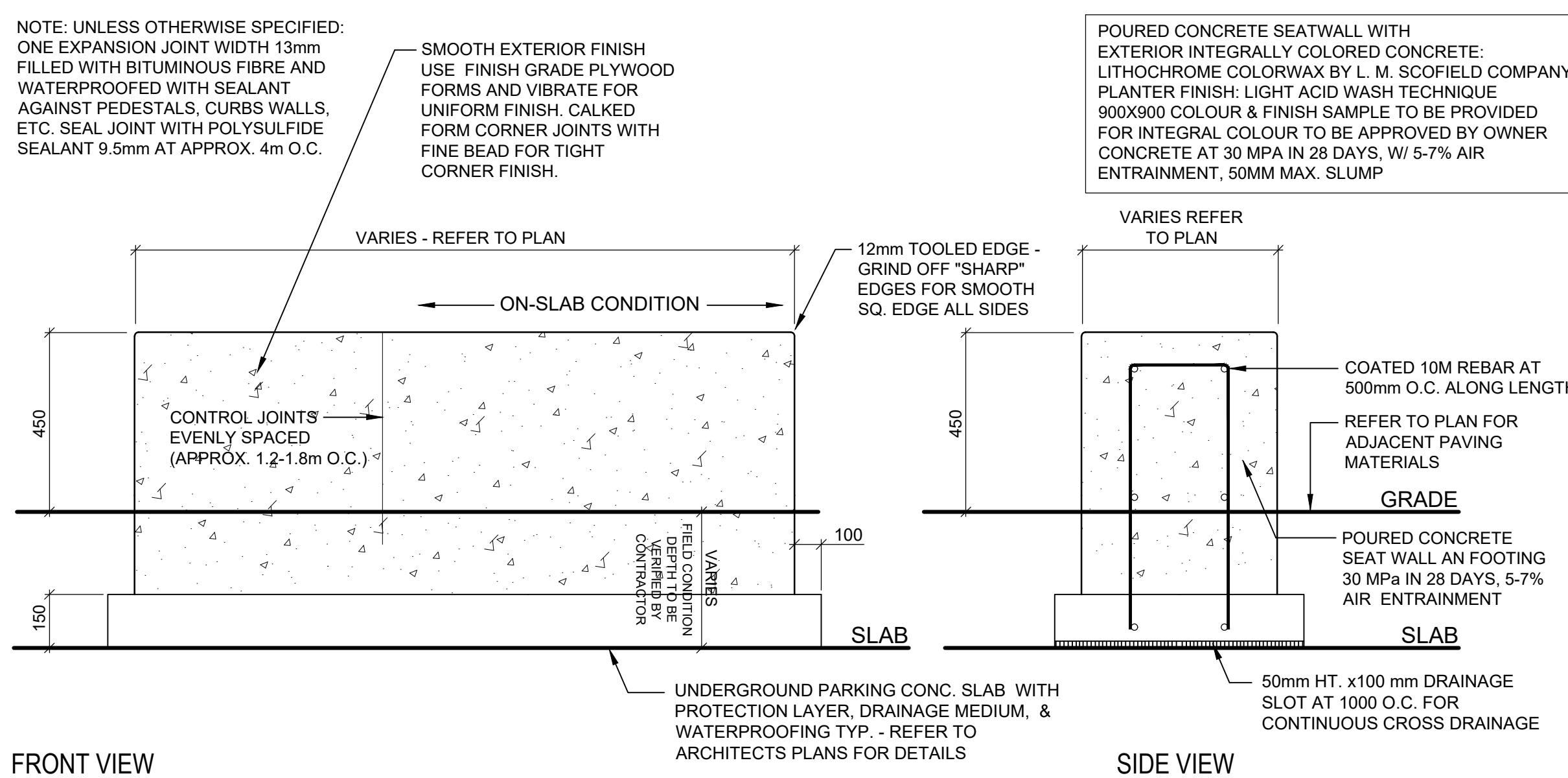


450mm HT. SEAT WALL WITH IPE WOOD SLATS

SCALE: N.T.S.

20
LD-04

REFER TO PLAN FOR LOCATION



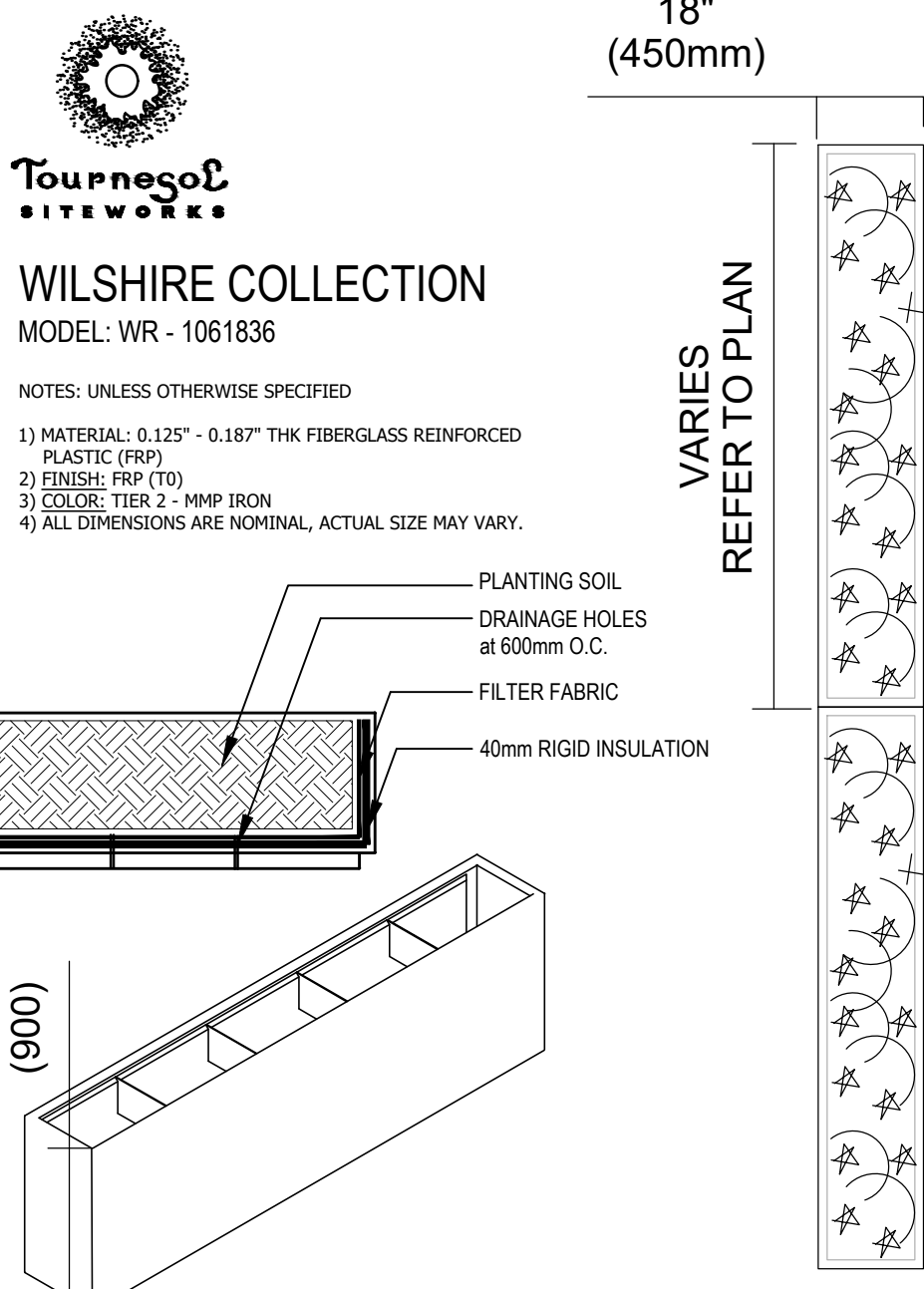
450 mm HT CONCRETE SEATWALL DETAIL - ON SLAB CONDITION

SCALE: N.T.S.

DATE:

21
LD-04

REFER TO PLAN FOR LOCATION



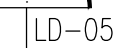
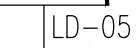
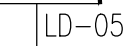
TOURNESOL CUSTOM PLANTER

SCALE: N.T.S.

DATE:

22
LD-04

All information contained in these plans shall be checked by the contractor. All discrepancies shall be reported to the Landscape Architect (L.A.) before commencing with construction. All drawings have copyright and shall remain the property of the Landscape Architect. Copying or any reproduction in part or whole shall only be permitted with written consent of L.A. Drawings shall not be used for construction unless sealed & SIGNED. NOTE: FOR ANY AND ALL GRADING INFORMATION REFER TO SITE GRADING ENGINEERING DRAWINGS. NO SLOPES ARE TO EXCEED 3:1. PROPERTY LINES AND SETBACKS MUST BE CONFIRMED BY CONTRACTOR PRIOR TO CONSTRUCTION. ANY AND ALL REMAINING WALLS MUST BE APPROVED BY STRUCTURAL ENGINEER PRIOR TO CONSTRUCTION. • PRELIMINARY NOT FOR CONSTRUCTION • THESE DRAWINGS ARE NOT TO BE USED FOR CONSTRUCTION UNTIL COUNTERSIGNED BY L.A. ARCHITECT. • SIGNED DATE



Project No. **17163**